



HARTLEIGH
**DESIGN
GUIDELINES.**
STAGE 1-4

1. INTRODUCTION

1.1	Hartleigh Vision	3
1.2	Design Guidelines	3
1.3	Approval Process	4
1.4	Submission Requirements	5
1.5	Submissions	5
1.6	Re-Submissions	6
1.7	Definitions	6

2. LAND

2.1	Lot Layout	8
2.2	Built Form Variety	9

3. ARCHITECTURE

3.1	Size	11
3.2	Form	12
3.3	Roofs	13
3.4	Garage	14
3.5	Corner Lot	15
3.6	External Materials and Finishes	16

4. LANDSCAPE

4.1	Front Garden	18
4.2	Landscape Guidelines	20
4.3	Driveways	30
4.4	Letterboxes	31
4.5	Retaining Walls	31
4.6	Fencing	32

5. OUTBUILDINGS

5.1	Sheds and Outbuildings	36
5.2	Service Equipment	36
5.3	Recycled Water	36
5.4	Broadband	37
5.5	Signage	37
5.6	Timing of Works	37
5.7	Maintenance and Protection	37





1. INTRODUCTION



1.1 HARTLEIGH VISION

Ideally situated on the rolling green hills of Clyde, this new boutique community offers families the rare opportunity to become a part of the future town centre. Close to existing amenity in the blossoming south-east, Hartleigh offers a great lifestyle opportunity now, with the promise of becoming something truly special over time.

Hartleigh delivers connectivity and quality without compromise. It has been skilfully master planned to become a place that residents will be proud to call home and where families can grow and evolve along with this burgeoning region of Melbourne. It will be a vibrant community that is destined to become the new heart of Clyde.

1.2 DESIGN GUIDELINES

The intent of these Design Guidelines is to help create an appealing living environment. They allow for the establishment of individualised houses that will sit comfortably next to each other in the street bringing about attractive, liveable neighbourhoods and a diverse, interesting community. This, in turn, also provides a measure of investment protection for the owners and community members.

The Design Guidelines describe important principles and parameters that must be considered in conjunction with the Building Envelope details and the Memorandum of Common Provisions for each lot.

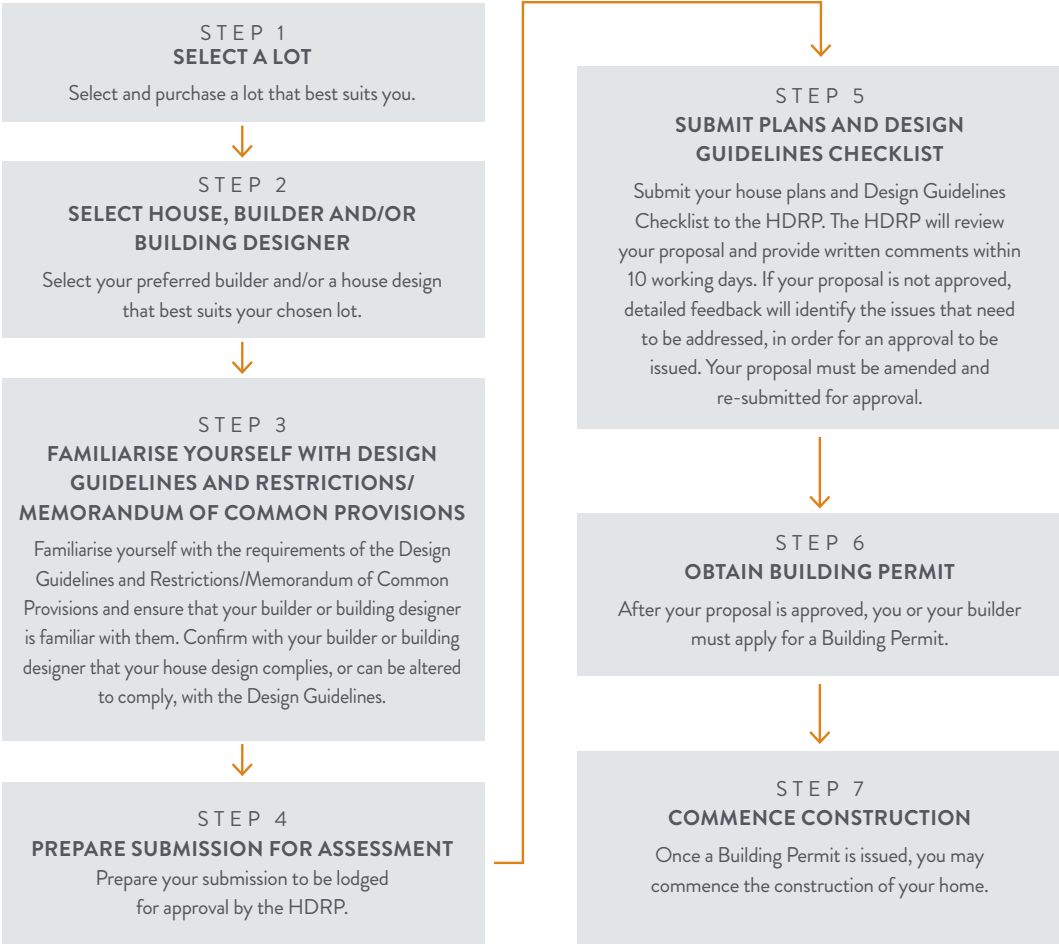
These requirements are in addition to, and not in lieu of, any State or local government planning or building approval requirements. It is the responsibility of the property owner (or their nominated agent) to check the current planning and building requirements relevant to the property being built on, to ensure the proposed design meets all legislative requirements.

1.3 APPROVAL PROCESS

Before a Building Permit is issued, or construction works started, the design and siting of a proposed dwelling must be approved by the Hartleigh Design Review Panel (HDRP). The HDRP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

In the interests of better achieving the diversity and visual interest that will promote more desirable neighbourhoods, the HDRP, at its absolute discretion, may approve a proposal that meets the objectives of these Design Guidelines without strictly complying with the wording herein. No claims shall be made to the developer or their representatives with respect to the decisions made or approvals given.

The diagram below shows the steps involved in obtaining the Developer’s Approval to build your new home. Please read it carefully so you are familiar with the process you will need to follow.



1.4 SUBMISSION REQUIREMENTS

All submitted documents must be in PDF file format:

1. Site plan at 1:100, with dimensions and showing:
 - Lot boundaries and any easement(s) on title
 - Proposed building footprint and all proposed setbacks
 - Contours (at 0.5m interval or less) or spot levels
 - On-site car parking and driveways
 - Other external structures (including pools and spas)

2. All floor plans, roof plans and elevations at 1:100, with dimensions and showing:
 - Internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
 - Proposed floor levels to AHD
3. Materials: Finishes and colour samples
 - Provide a PDF file with samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections

4. Landscape plan at 1:100, with dimensions and showing:
 - Indicative extent of all hardscape and softscape
 - Planting schedule that lists all proposed species referenced on landscape plan

5. For lots with greater than 1.5m land fall, please include the following, at 1:100:
 - At least one sectional drawing that explains the extent of proposed cut and fill location and heights of proposed retaining walls.

1.5 SUBMISSIONS

All applications for Developer’s Approval must be lodged via the Design Approval Portal at www.ngdd.com.au:



Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

1.6 RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

Application for design approval is included in the sale price of the land. Additional applications after an approval has been granted will incur a fee.

1.7 DEFINITIONS

For the purposes of these guidelines:

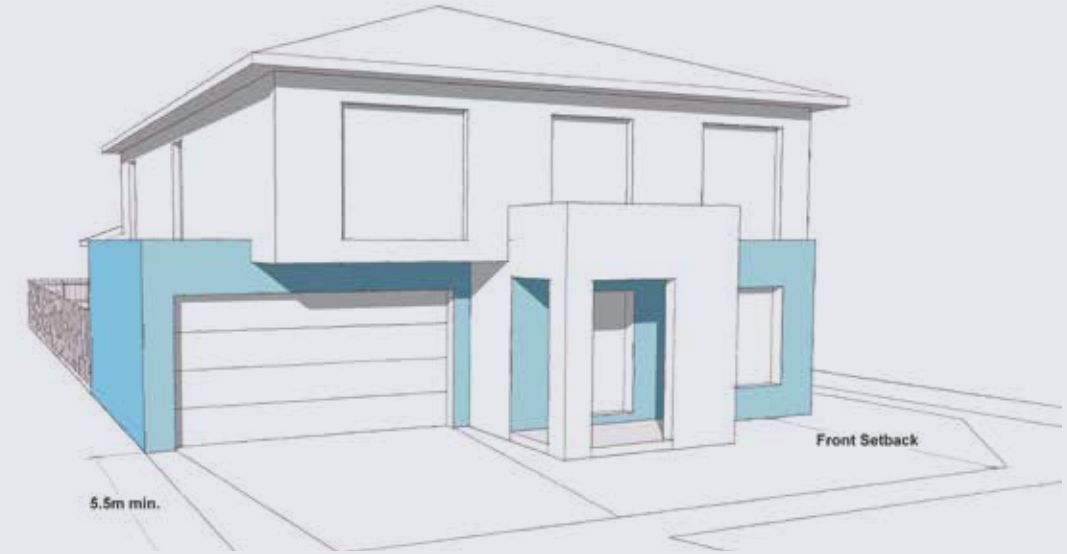
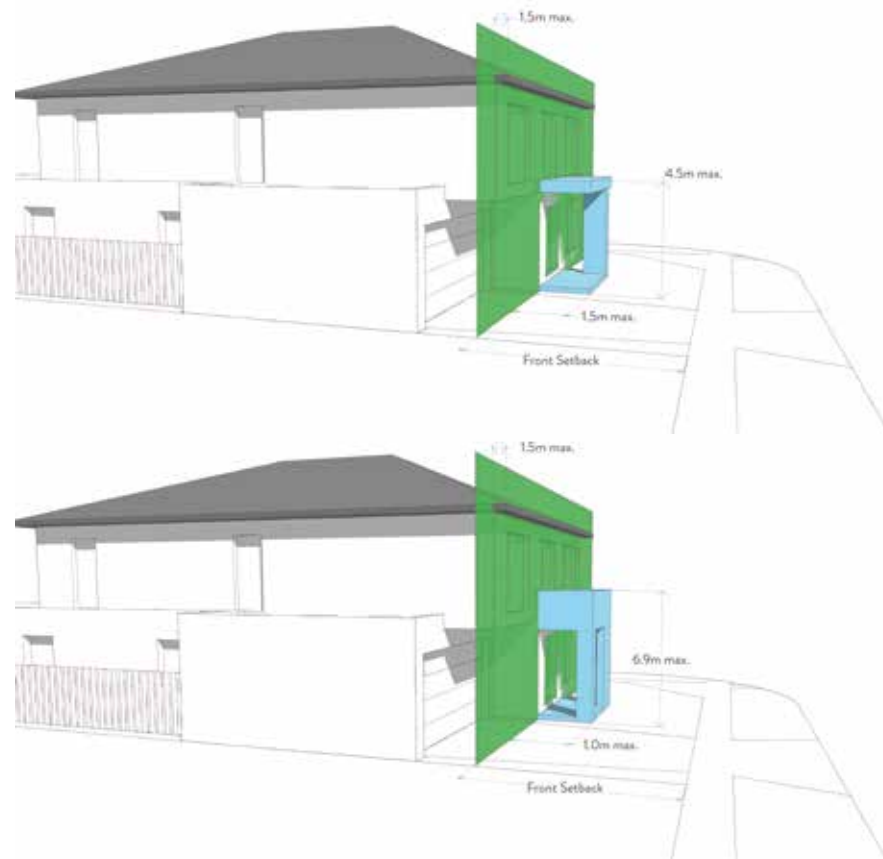
1. Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
2. Building Envelope Plan means the Building Envelope detailed within the Memorandum of Common Provisions for a particular lot.
3. A corner lot is any lot that has more than one boundary that abuts the public realm.
4. On corner lots, the primary street frontage is the shorter of the two, unless noted otherwise in the building envelope plan.
5. A habitable room is a living room or a bedroom.
6. Natural Ground Level means the finished surface level of the ground after engineering works associated with the subdivision have been completed.



2. LAND

2.1 LOT LAYOUT

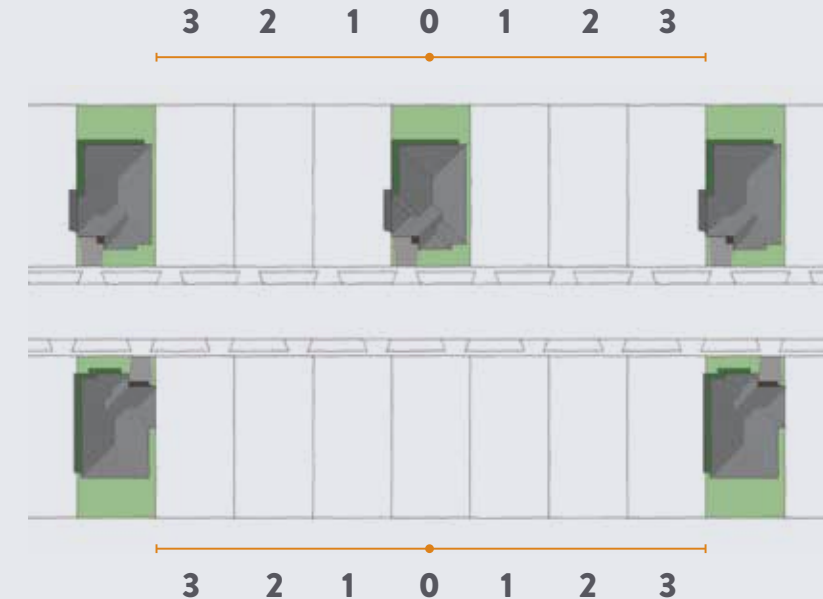
1. Only one dwelling may be built per lot, unless noted otherwise on the Building Envelope Plan.
2. Each dwelling, including the garage, must comply with the setbacks described by the building envelope for the lot.
3. In addition to the overall dwelling setbacks, the garage on a front loaded must be set back 5.5m from the front boundary, unless the building envelope for the lot:
 - allows a setback of 3m, whereby the garage must be set back at least 5m; or
 - identifies the lot as having an alternative garage setback whereby the garage must not be setback between 3 and 5m from the primary frontage
4. Porticos, porches, pergolas and verandahs up to 4.5m in height may encroach up to 1.5m into the front setback, except where a building envelope allows a setback of 3 metres whereby the garage can be set back 5 metres.
5. Balconies and architectural features up to 6.9m in height may encroach up to 1m into the front setback.
6. Eaves, gutters and fascias may encroach up to 1.5m into the front setback, 1m into a side public realm setback and 500mm into any other side or rear setback.



2.2 BUILT FORM VARIETY

To help promote a sense of identity for each home, each dwelling must be noticeably and obviously different from the other dwellings within 3 lots. This includes lots on the other side of a street or road.

If, in the opinion of the HDRP, two dwellings are too similar, the earlier of the two applications will take precedence.



3. ARCHITECTURE

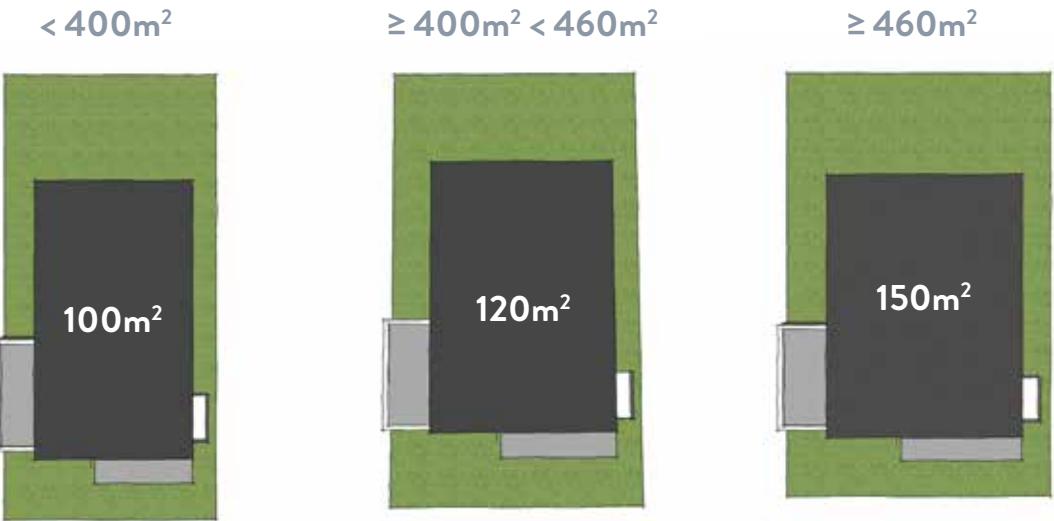


3.1 SIZE

There is a minimum size for each dwelling at Hartleigh. The dwelling size, measured at the external face of the external walls, and excluding garages and all unenclosed areas such as porticos, porches, verandahs, balconies, alfresco areas and the like, must be as follows:

LAND SIZE	DWELLING SIZE (LIVING AREA)
Less than 400m ²	100m ²
Greater than 400m ² and less than 460m ²	120m ²
Greater than 460m ²	150m ²

MINIMUM FLOOR AREAS REQUIRED:



3.2 FORM

- 1. Each dwelling must have an entrance feature that visually complements the architectural character of the dwelling and serves to make the location of the front door obvious from the primary frontage of the lot. Typical entry features include porticos, porches and verandahs.
- 2. Entry features must be designed as a separate element in the façade, independent from the main roof form.
- 3. The entry feature must have a minimum area of 3m² and cannot sit in under the main roof line of the dwelling.
- 4. Two storey dwellings must have a transition between the ground floor and the first floor.
- 5. Every dwelling must have at least one habitable room window that addresses the primary street frontage.

EXAMPLE OF ACCEPTABLE ENTRANCE DESIGN:



3.3 ROOFS

- 1. Pitched roofs are preferred, but flat and skillion roofs will be considered if they complement the architectural style of the dwelling.
- 2. Pitched roofs must incorporate eaves with a minimum depth of 450mm to each side of the dwelling that faces the public realm.
- 3. Corner lots will therefore have eaves along at least two sides.
- 4. Eaves must return for a minimum of 1.5 metres along the side wall of a dwelling that is on a lot with only one frontage, and along the back of a dwelling on a corner lot.
- 5. Roof cladding must complement the architectural style of the house.
- 6. Roof cladding must not be:
 - Unfinished
 - Reflective
 - Galvanised
 - Zinc
 - Fibre cement
 - Tray deck sheeting
- 7. Flat roofs must be screened by a parapet.
- 8. Parapets on the front façade must be returned for a minimum of 1.5 m along the side wall.

EXAMPLE OF APPROVED ROOFS:



3.4 GARAGE

1. All lots must provide an enclosed garage for at least one vehicle.
2. A double garage must be provided if the lot has a frontage of 12.5m or more.
3. Unenclosed carports are not permitted.
4. On front loaded lots, the garage must be set back a minimum of 840mm behind the front façade of the dwelling.
This distance is not to be measured from protruding porches, porticos, balconies, etc.
5. Garage openings facing the public realm must be:
 - No wider than a maximum of 40% of the lot width of the dwelling.
 - No more than 30% of the area of the front façade of the dwelling, measured from a 2-D elevation, excluding the roof of the dwelling, if the lot size is between 250m² - 300m² and the dwelling is more than one storey.
6. The garage must match or complement the dwelling in terms of external appearance (colour, materials, form etc).
7. Roller doors must not be used where they are visible from the public realm.
8. On rear loaded lots, the garage must be located to the rear of the lot.



3.5 CORNER LOT

Corner lots are in an important position in the context of both the streets that they are on, and the neighbourhood that they are in.

The dwellings on corner lots must therefore address each of the frontages that abut the public realm.

An appropriate way of doing this is to use the same or similar elements / features on each side of the dwelling that faces the public realm.

1. As a minimum, you must include 3 of the following elements from the primary frontage on the secondary frontage:
 - Windows with matching head heights
 - Materials that “turn the corner” to meet the return fence
 - Wall articulation such as protruding piers or recessed steps in the façade
 - Roof features such as gables etc.
 - Pergolas, porches, balconies etc.
2. The elements used must be located forward of the return fence.
 - Blank walls are not permitted forward of the return fence on a corner lot
3. Lightweight infill panel(s) must not be used above any wall openings if they are readily visible from the public realm.



3.6 EXTERNAL MATERIALS AND FINISHES

1. Face brickwork must not account for any more than 60% of the area of the front façade, not including any openings such as windows or doors.
2. At least 2 different materials or colours must be used in the walls that address the public realm.
Approved materials or finishes include:
 - *Render*
 - *Masonry blocks*
 - *Weatherboard*
 - *Timber cladding*
 - *Other materials at the discretion of the HDRP*
3. Whilst there are no mandatory colour requirements for the dwellings at Hartleigh, proposed colours must be approved by the HDRP. Printed colour samples or colour photos of the exterior materials and finishes must be included in the application for the Developer's Design Approval. It is strongly encouraged that all external building materials are in natural muted colours.
4. Reflective glazing or glazing with applied film is not permitted.

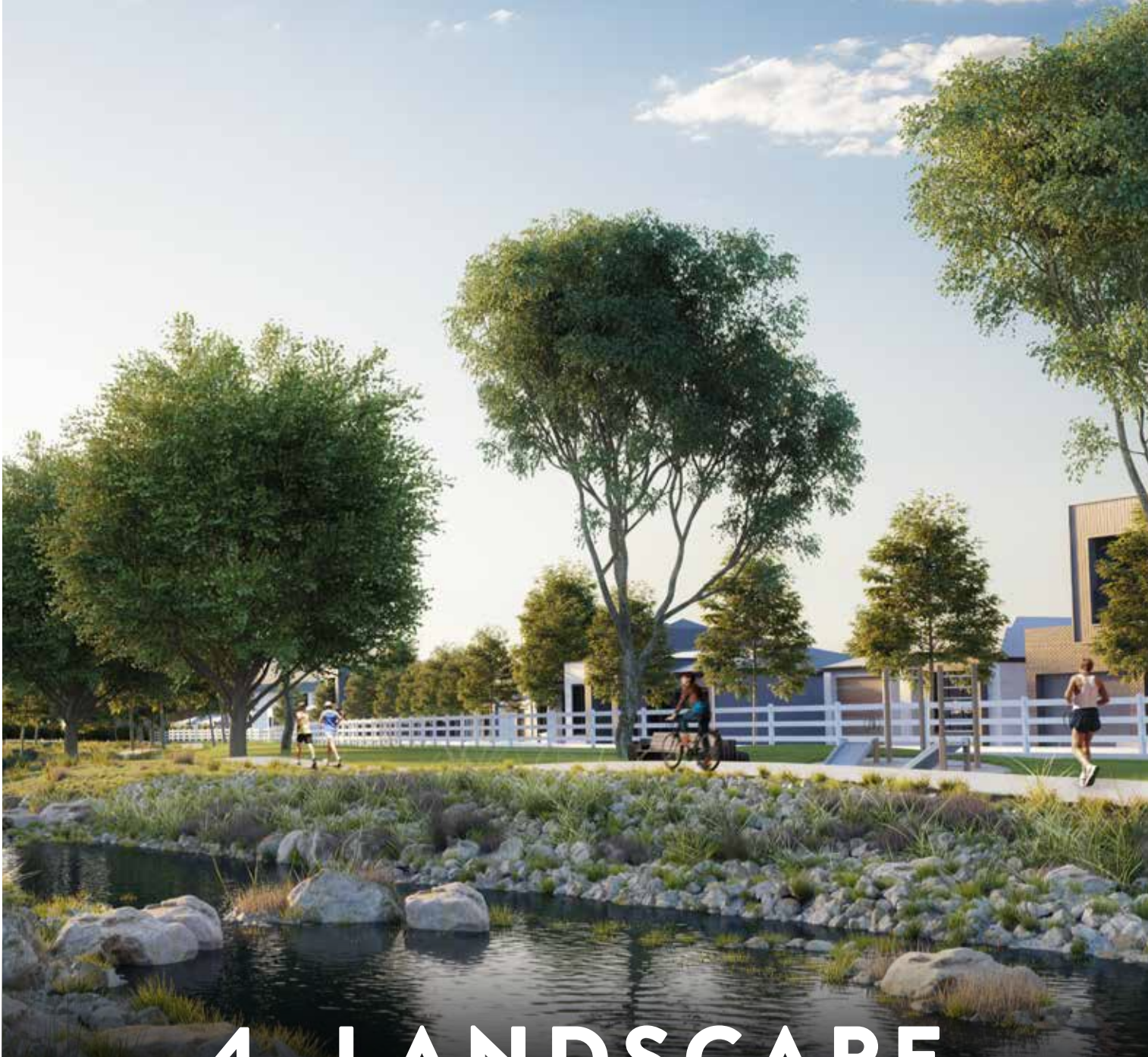
EXAMPLES OF PREFERRED EXTERNAL NATURAL MUTED COLOURS:



EXAMPLES OF APPROVED EXTERNAL DESIGNS AND MATERIALS:



EXAMPLE OF NON PREFERRED EXTERNAL DESIGN:



4. LANDSCAPE

4.1 FRONT GARDEN

Together with the dwelling itself, the front yard of each lot is a major component of the visual realm of Hartleigh. While each resident has direct control over their individual front yard, every resident experiences all the front yards by simply being in the street. A well designed, constructed and maintained front yard will therefore enhance everyone's experience and enjoyment.

In order to help achieve this, and to assist you with the design of your front yard, we have developed five different design options for you to choose from. Each one aims to create a leafy character and well-planted front yard for all residents to enjoy in the future. Details of each of the designs are included in this document.



DESIGN OPTIONS:

The front yard designs have been prepared to suit an average lot layout and can be adapted to suit your lot orientation, size, topography and house plan.

The designs incorporate a range of styles with plants to suit both the local conditions of the site and complement the streetscape. Certain designs may be better suited to your house layout and style. You can ask your preferred landscape professional for further advice about which to choose.

PROCESS:

You may choose one of the garden designs or alternatively, you can submit a similar plan to the HDRP in accordance with the design principles outlined below. The plan must be prepared by a suitably qualified landscape professional.

Upon completion of the landscape installation, you can apply to the HDRP for a \$2,000 rebate as a contribution towards the cost of your front yard. Your garden will need to comply with the design options or landscape design principles as outlined below in order to be eligible for this rebate.

The landscape must, however, be installed within 90 days of the issued Certificate of Occupancy, unless this is during the summer period, in which case the garden must be installed by the 30th April.

DESIGN PRINCIPLES FOR CONSIDERATION:

1. Your front garden should include a minimum of one canopy tree – installed in a 45Lt pot/2.0m high.
2. Vegetation selection must include drought tolerant, adaptable plant species suited to the local conditions of Clyde as suggested in the plant theme/palettes provided.
3. A minimum of 50% of the front garden must include permeable surfaces, including but not limited to grass, gravel and mulch.
4. Landscaping elements must be used to soften, or screen the appearance of storage, services and parking areas.
5. Landscape elements and planting must be in proportion to the availability of space provided and be well planted so as to enable full coverage of the garden bed, when established.
6. Landscaping features must maintain a degree of passive surveillance of entry points to dwellings.
7. Landscape elements must not interfere with utility services.
8. Selection of appropriate plant species and heights of landscape elements should not impact on adjacent properties through overshadowing or intrusive root systems.
9. A minimum 500mm wide planting strip is to be provided between the driveway and the side boundary (or 300mm if the garage is located on the side boundary).

4.2 LANDSCAPE GUIDELINES

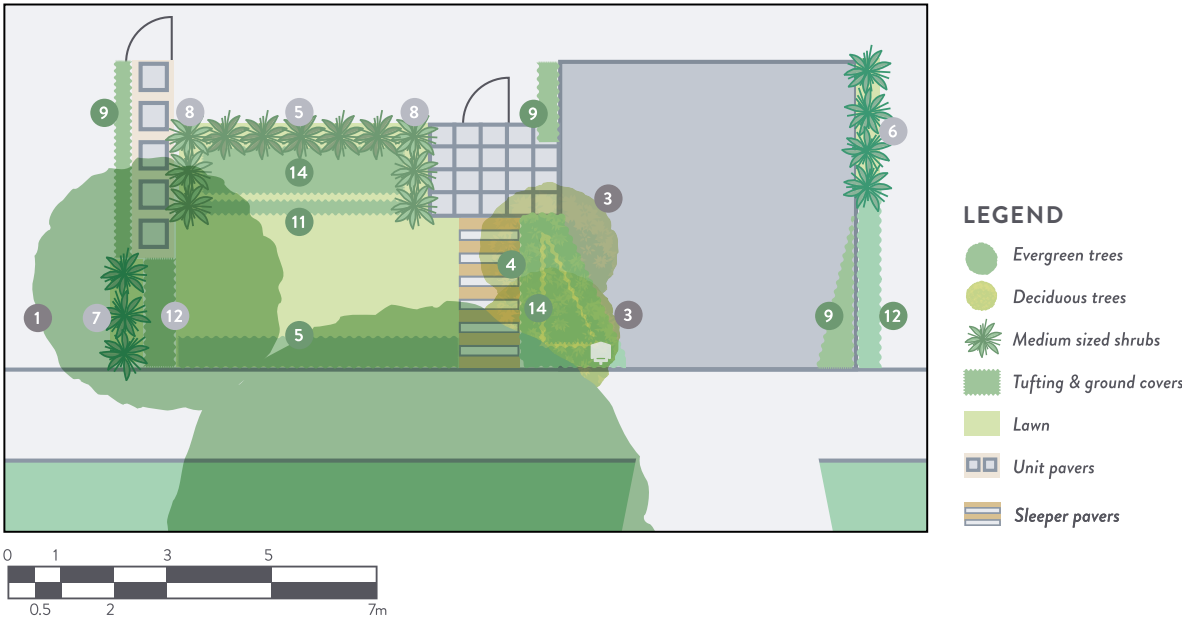
Option One – Design Intent:

A formal garden with a symmetrical and structured design through its layout and plant selection.

The design features a low hedge along the frontage and sides to border your home with luscious greenery. Canopy trees are placed to frame your property and create a sense of entry and address to your home.

Planting is carefully selected to consist of greens with close consideration to its plant forms and foliage textures.

FORMAL GARDEN:



INDICATIVE PLANT IMAGES:



PYR cal



TRI lau



WAT flo



TRA jas

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7–12 x 5–8
2. WAT flo	Waterhousia Floribunda	Weeping Lilly Pilly (Hedged)	5 x 1.5
Deciduous Trees			
3. PYR cal	Pyrus Calleryana	Callery Pear	9–12 x 3–6
Shrubs			
4. BUX sem	Buxus Sempervirens	English Box (Clipped)	0.3 x 0.3
5. GAR aug	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
6. JUN vir	Juniperus Virginiana ‘Spartan’	Spartan Conifer	4 x 1
7. MUR pan	Murraya Paniculata	Orange Jessamine (Clipped)	3 x 2
8. SYZ aus	Syzygium Australe ‘Bush Christmas’	Dwarf Lilly Pilly	1.5 x 0.5
Tufting & Ground Covers			
9. DIA cae	Dianella Caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
10. DIE gra	Dietes Grandiflora	Wild Iris	1 x 1
11. LIR mus	Liriope Muscari	Lily Turf	0.5 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7–1 x 1
Climbers			
13. FIC pum	Ficus Pumila ‘Minima’	Creeping Fig	-
14. TRA jas	Trachelospermum Jasminoides	Chinese Star Jasmine	-

* Trees to be installed at minimum 45Llt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



BUX sem



GAR aug



LIR mus



DIE gra



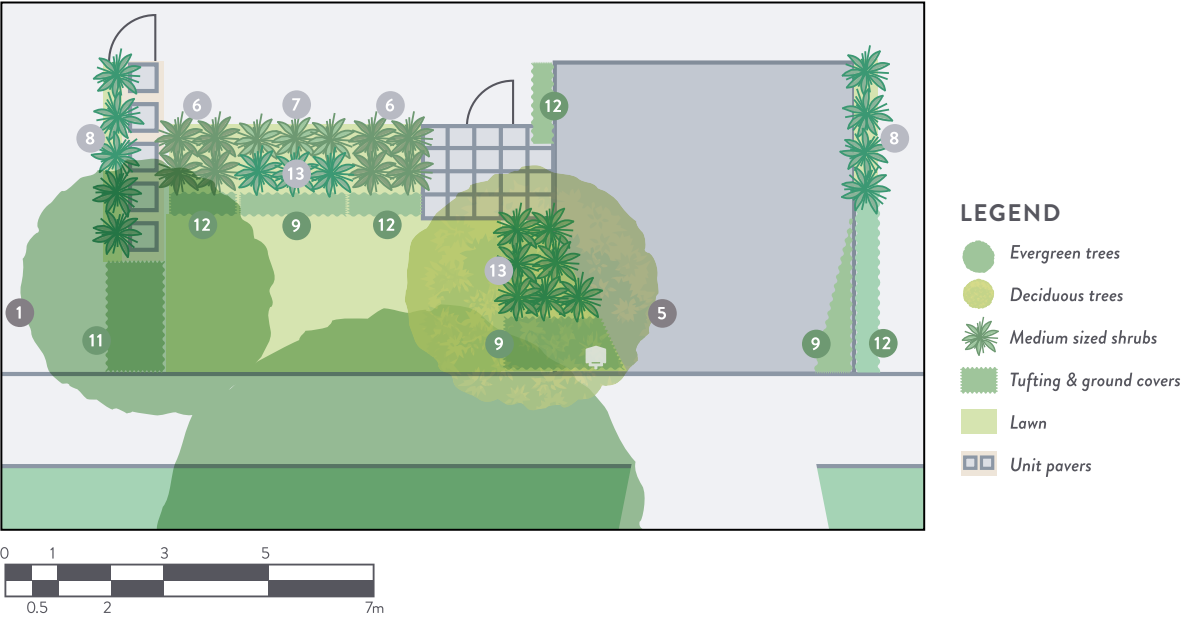
DIA cae

Option Two – Design Intent:

This traditional garden features the classic Aussie lawn frontage. Canopy trees are well-placed to allow a framed view from your living space as well as providing privacy from the street.

Planting is carefully selected to consist of floral spacing and well considered traditional based planting.

TRADITIONAL GARDEN:



INDICATIVE PLANT IMAGES:



ACE bue



TRI lau



MAG sou



ROS jus

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7–12 x 5–8
2. EUC man	Eucalyptus mannifera ‘Little Spotty’	Red Spotted Gum	8 x 6
Deciduous Trees			
3. LAG nat	Lagerstroemia indica ‘Natchez’	Natchez Crepe Myrtle	8 x 6
4. MAG sou	Magnolia x soulangeana	Tulip Magnolia	6 x 5
5. ACE bue	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
Shrubs			
6. CHO ter	Choisya ternata	Mexican Orange Blossom	1.2 x 1.2
7. CRO exa	Crowea exalata	Waxflower	0.7 x 1.0
8. HEB alb	Hebe ‘Wiri Mist’	Wiri Mist Hebe	1.5 x 0.80
Tufting & Ground Covers			
9. CER tom	Cerastium tomentosum	Snow in Summer	0.2 x 2
10. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
11. DIE gra	Diets grandiflora	Wild Iris	1 x 1
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7–1 x 1
13. ROS jus	Rosa ‘Just Joey’	Hybrid Tea Rose	0.75 x 1.0
Climbers			
14. ROS ban	Rosa banksiae ‘lutescens’	Banksia Rose	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



HEB alb



CHO ter



CRO exa



CER tom



LOM lon

Option Three – Design Intent:

This design features paths with stone pavers which complement the bush organic garden setting.

The design features large arcs which define the layout. The planting design consists of multiple trees which complement the organic setting whilst offering privacy from the street.

This design consists of classic native plants and shrubbery.

NATIVE GARDEN:



INDICATIVE PLANT IMAGES:



EUC pau



ALL lit



COR ref



GRE moo

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. ACA mel	Acacia melanoxylon	Blackwood	12 x 7
2. ALL lit	Allocasuarina littoralis	Black She-Oak	5 x 3
3. EUC pau	Eucalyptus pauciflora ‘Little Snowman’	Snow Gum	7 x 4
Deciduous Trees			
4. MEL aze	Melia azedarach ‘Elite’	White Cedar	10 x 6
Shrubs			
5. BAN spi	Banksia spinosa	Hairpin Banksia	3 x 3
6. COR ref	Correa reflexa	Common Correa	3 x 2
7. GRE moo	Grevillia ‘Moonlight’	Grevillea	4 x 3
8. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
Tufting & Ground Covers			
9. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
10. DIA rev	Dianella revoluta	Spreading Flax Lily	0.5 x 0.5
11. EPA imp	Epacris impressa	Common Heath	0.7 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7-1 x 1
13. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
14. POA mor	Poa morrisii	Velvet Tussock Grass	0.5 x 0.5
15. TET cil	Tetratheca ciliata	Pink Bells	0.4 x 0.4
Climbers			
16. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



WES gem



BRA mul



PAT occ



POA mor



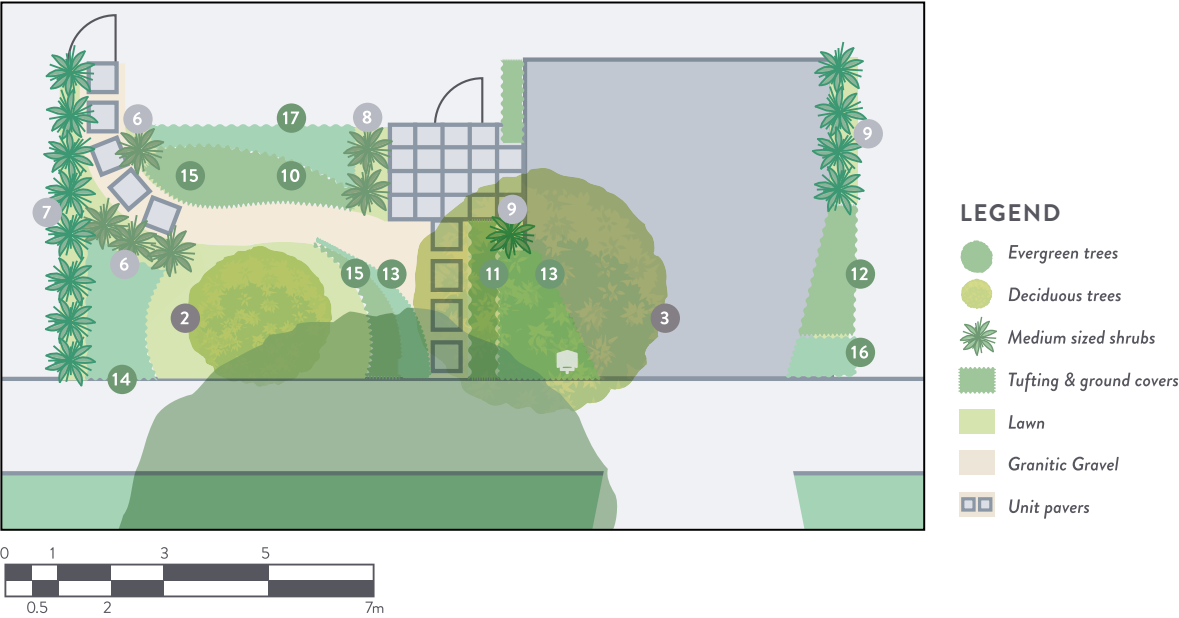
TET cil

Option Four – Design Intent:

Cottage garden with a native planting twist.
This design features a path which gently winds its width across the garden.

The design is a combination of organic and traditional, allowing plants to cascade over the path and weave through each other creating the cottage charm. The planting consists of dense planting and a mixture of ornamental floristic and textured plants.

COTTAGE GARDEN:



INDICATIVE PLANT IMAGES:



COR fic



GLE tri



LAG yum



EUP cha

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. COR fic	Corymbia ficifolia ‘Fairy Floss’	Flowering Gum	6 x 4
Deciduous Trees			
2. GLE tri	Gleditsia triacanthos var. ‘Elegantissima’	Compact Honey Locust	5 x 3
3. LAG yum	Lagerstroemia indica ‘x Yuma’	Natchez Crepe Myrtle	4 x 3
4. TIL cor	Tilia cordata ‘PNI 6025’ - Greenspire	Greenspire Lime	9 x 6
5. ULM par	Ulmus parvifolia	Chinese Elm	8 x 8
Shrubs			
6. EUP cha	Euphorbia characias ‘Wulfenii’	Milkweed Spurge	1 x 1
7. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
8. ROS off	Rosmarinus officinalis	Rosemary	1 x 1.5
9. HEB ins	Hebe ‘Inspiration’	Hebe	1 x 1
Tufting & Ground Covers			
10. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
11. DAM div	Dampiera diversifolia	Dampiera	Pros x 0.3
12. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
13. IRI ger	Iris Germanica	German Iris	0.5 x 0.3
14. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
15. SCA mau	Scaevola ‘Mauve Clusters’	Fairy Fan Flower	0.3 x 0.5
16. STA byz	Stachys byzantina	Lamb’s Ears	0.3 x 0.3
17. TET Fai	Tetratheca ‘Fairy Bells’	Fairy Bells	0.4 x 0.4
Climbers			
18. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



ROS off



DIA cae



IRI ger



SCA mau



STA byz

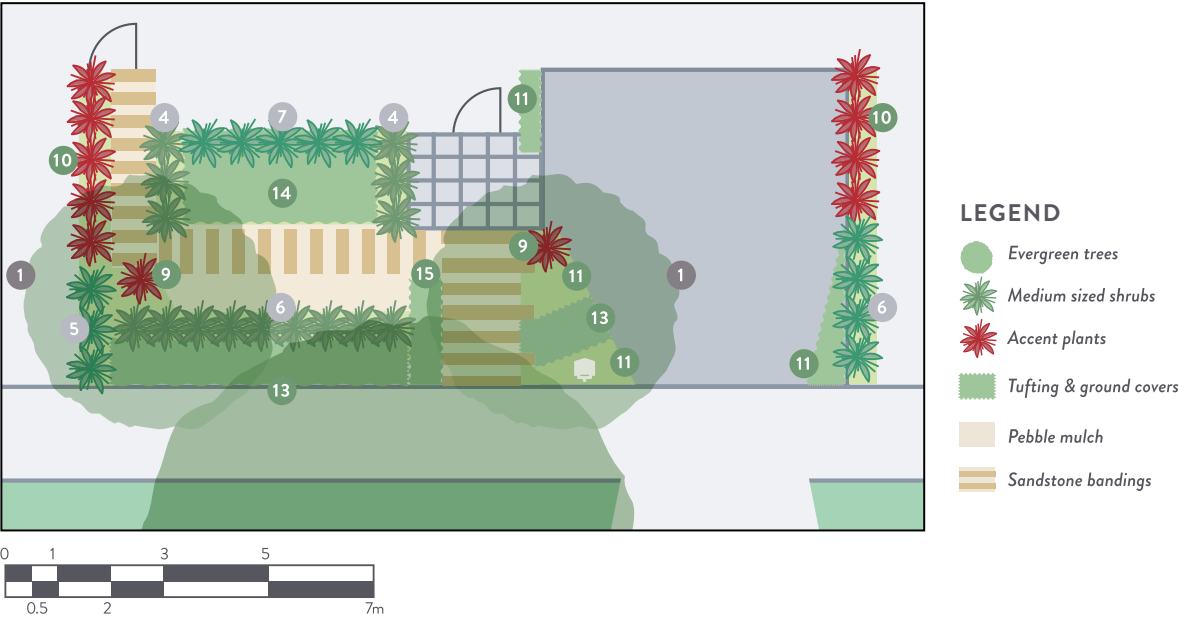
Option Five – Design Intent:

Contemporary garden with a dash of the bush, low maintenance and modern shapes.

The modern garden design draws upon simplicity and low maintenance, with a sense of sophistication.

The interface with the street consists of accent plants providing contrast and colour.

CONTEMPORARY GARDEN:



INDICATIVE PLANT IMAGES:



AGO fle



EUC man



ACA cog



LEU lau

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. AGO fle	Agonis flexuosa 'Burgundy'	Willow Myrtle	5 x 3
2. EUC man	Eucalyptus mannifera 'Little Spotty'	Red Spotted Gum	8 x 6
Deciduous Trees			
3. ACE bue	Acer buergerianum	Trident Maple	6 x 6
Shrubs			
4. ACA cog	Acacia cognata 'Limelight Wattle'	Limelight Wattle	1 x 1
5. DOD vis	Dodonaea viscosa 'Purpurea'	Purple Sticky Hop Bush	3 x 2
6. LEU lau	Leucadendron laeolium x salignum	Inca Gold	1 x 1
7. EUP cha	Euphorbia characias 'Wulfenii'	Milkweed Spurge	1 x 1
8. WES gem	Westringia 'Wynabbie Gem'	Wynabbie Gem Westringia	1.5 x 1.5
Tufting & Ground Covers			
9. AGA att	Agave attenuata	Agave	0.7 x 0.5
10. COR red	Cordyline 'Red Fountain'	Red Fountain Cordyline	1 x 1
11. DIA cae	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3–0.5 x 0.3
12. LEU bro	Leucophyta brownii	Cushion Bush	1 x 1
13. LOM lon	Lomandra longifolia 'Tanika'	Spiny-headed Mat-rush	0.7–1 x 1
14. MYO par	Myoporum parvifolium	Creeping Boobialla	prostrate x 2
15. PHO pur	Phormium 'Bronze Baby'	Dwarf New Zealand Flax	0.7 x 0.7

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



AGA att



COR red



LEU bro



MYO par

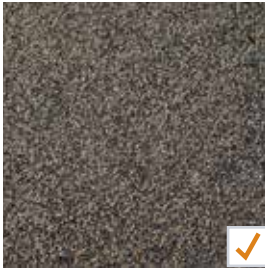


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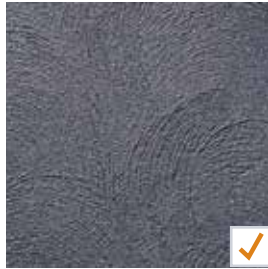
4.3 DRIVEWAYS

1. Only one crossover is permitted per frontage.
2. The driveway must form an impervious surface. Allowable finishes for driveways include:
 - *Exposed aggregate concrete*
 - *Coloured-through concrete; and pavers*
3. Natural (plain) coloured concrete and colour-on concrete driveways are not permitted.
4. The driveway must be offset from the side boundary by at least 400mm to allow for a planting strip between the boundary and the driveway.
5. The driveway must not be wider than the width of the crossover at the boundary and should be no wider than the garage door where it meets the dwelling.

**EXPOSED
AGGREGATE**



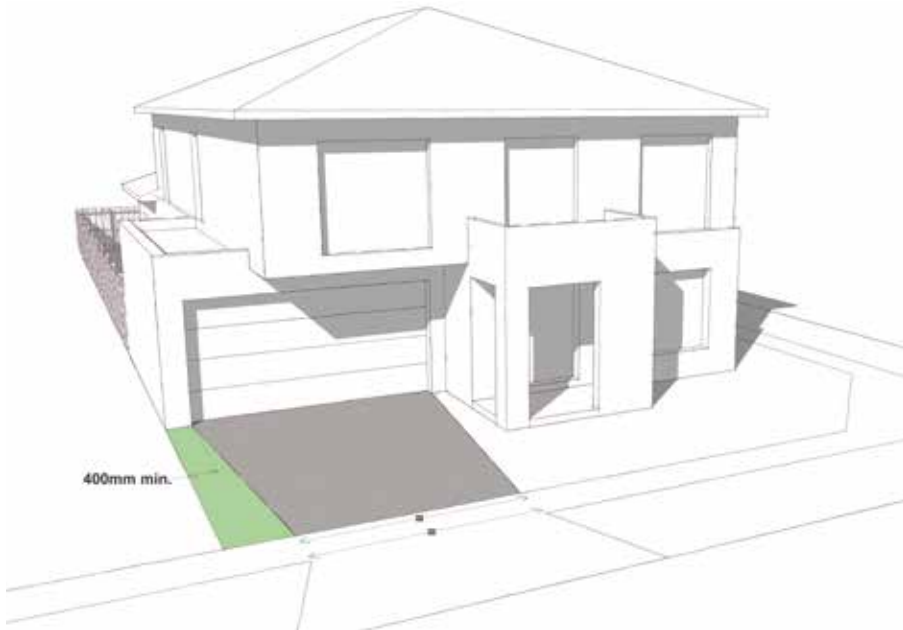
**COLOURED-
THROUGH**



PAVERS



**STENCILLED
CONCRETE**



4.4 LETTERBOXES

1. Letterboxes supported on a single post are not permitted.
2. Letterboxes should match or complement the appearance of the dwelling.



4.5 RETAINING WALLS

1. Where required, retaining walls must not exceed 1.0 metre in height above natural ground level.
2. Retaining walls are to be constructed of either:
 - *A proprietary masonry block system*
 - *Timber sleeper / steel post construction*
3. In the case of timber sleeper / steel post retaining walls:
 - Timber sleepers must be:
 - *At least 50x200mm*
 - *No more than 2.4m long*
 - Steel posts must be:
 - *Either 100UC (Universal Channel) or 100PFC (Parallel Flange Channel) for wall ends*
 - *Steel posts must be galvanised*
 - *Retaining walls must be capped with 50x200mm sleepers to conceal post tops*
4. Provision should be made for adequate drainage behind retaining walls, and connection to on-site stormwater drains.
5. Provision should also be made for garden bed planting (minimum 300mm width) in front of retaining walls.

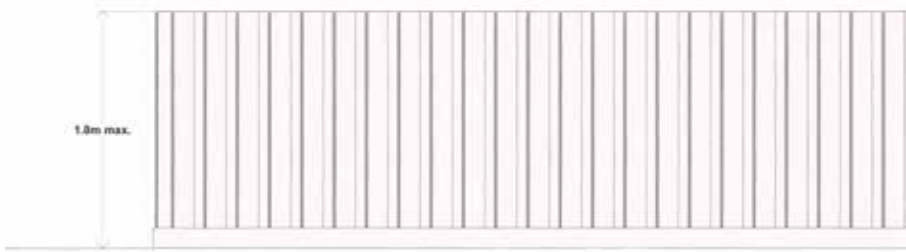
EXAMPLE OF APPROVED RETAINING WALL



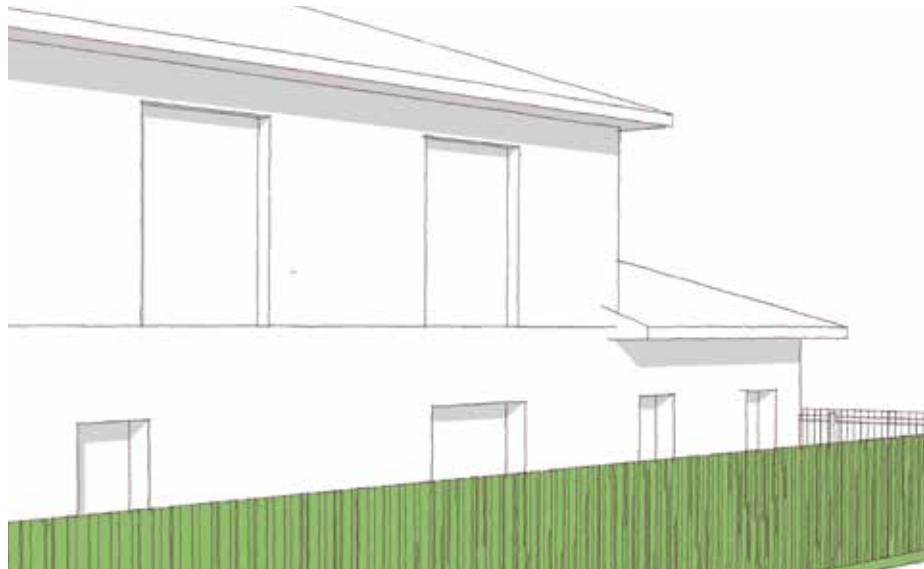
4.6 FENCING

SIDE AND REAR FENCING (Fencing between lots):

- 1. Side and rear fencing must be:
 - Constructed of timber posts and rails and lapped timber palings
 - A maximum of 1.8 metres in height, above natural ground level
- 2. Side fencing must be:
 - Set back at least 1.0 metre behind the dwelling frontage alignment
 - Returned to meet the side of the dwelling (return fence)

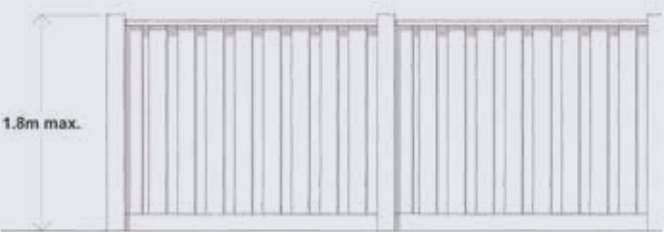


- 3. A gate is allowable in the return fencing provided that it is constructed of the same material as the side fencing.



CORNER FENCING
(FENCING TO A PUBLIC REALM BOUNDARY OTHER THAN THE FRONTAGE):

- 4. Developer will provide corner fencing.
- 5. Corner fencing must be:
 - Constructed of exposed timber posts and rails, lapped timber palings and timber capping
 - A maximum of 1.8 metres in height, above natural ground level
 - Set back at least 3.0 metres behind the dwelling frontage alignment
 - Returned to meet the side of the dwelling (return fence)



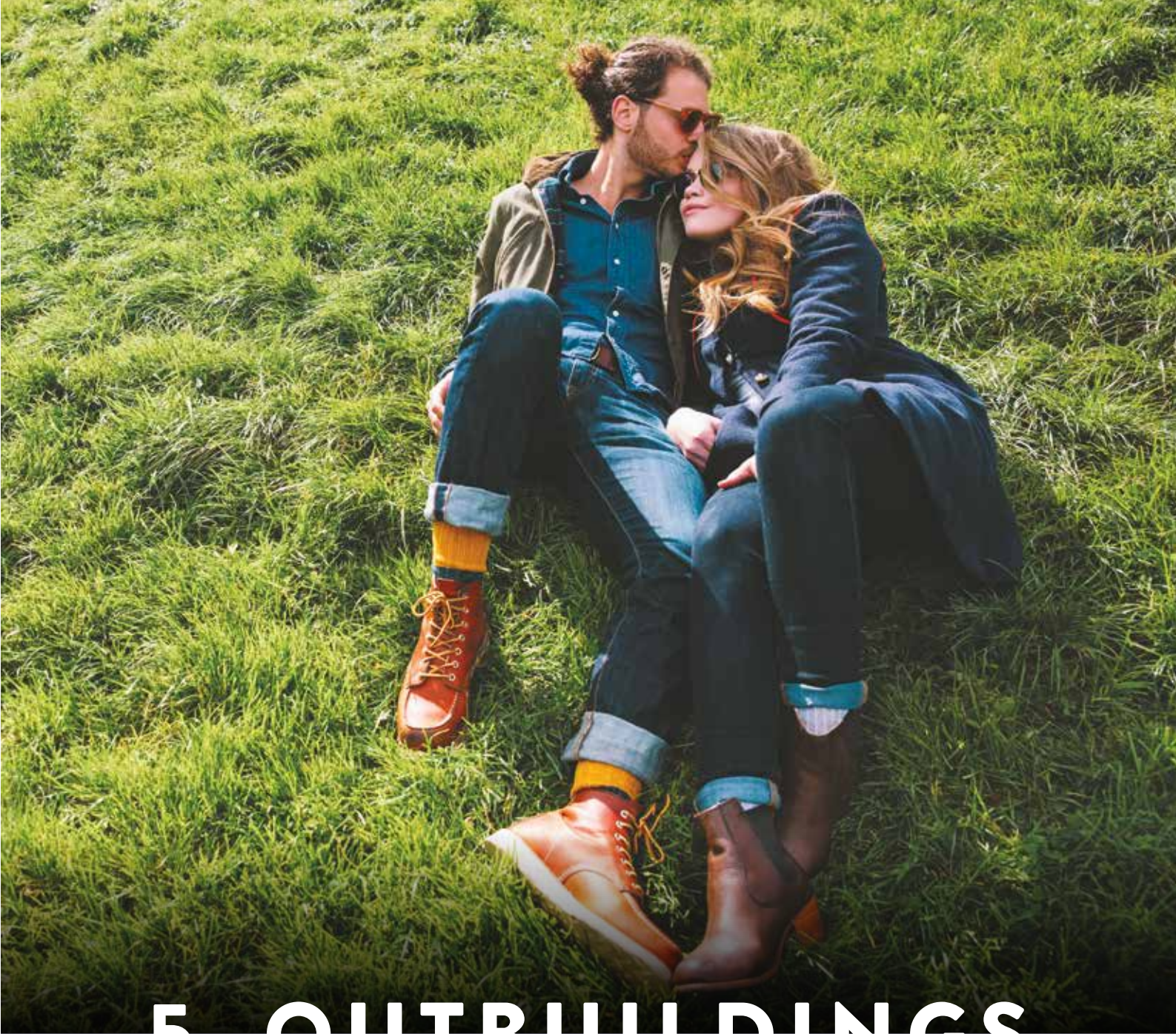
EXAMPLE OF APPROVED FENCING FOR CORNER LOT:



FRONT FENCING:

- 6. A gate is allowable in the return fencing provided that it is constructed of the same material as the corner fencing.
 - 7. Owner to match any access fencing / gate to corner fence provided by developer.
 - 8. Where provided, front fencing must be:
 - No more than 1.2 metre in height above natural ground level
 - Complementary to the style and materials of the dwelling
- Constructed of one of the following:**
- Rendered masonry
 - Face brick
 - Stone-faced masonry
 - Timber pickets/battens on a timber or powder coated steel frame
 - Powder coated/anodised metal fencing comprising horizontal top and bottom rails and vertical pickets/rods and posts
 - Continued at the same height along the side boundary to meet the return fence or garage on the boundary
- 9. On corner lots, the front fence must continue along the spay and secondary boundary to meet the return fence.
 - 10. Gates (where provided) must be of a style and material which is complementary to the style and material of the fencing.
 - 11. Wing fencing is only to be provided for dwellings where front fencing is provided.
 - 12. Wing fencing must be:
 - Constructed of the same material as the remainder of side fencing
 - Of a height to match the height of front fencing

WING FENCING (FENCING BETWEEN THE RETURN FENCE AND THE FRONT FENCE):



5. OUTBUILDINGS

5.1 SHEDS AND OUTBUILDINGS

1. If less than 10m² in area, sheds and outbuildings must not be readily visible from the public realm.
2. If more than 10m² in area, sheds and outbuildings must match or complement the appearance of the dwelling in form and colour.

SCREENING:

3. Ancillary structures and elements must be located so that they are not readily visible from the public realm.
This include items such as:
 - *Rubbish bin storage areas*
 - *Washing lines*
 - *Hot water systems*
 - *Any water storage tanks*
 - *Swimming pools*
 - *Spa equipment*
 - *External plumbing other than that for rain water*
 - *Satellite dishes and TV aerials*
4. Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.

5.2 SERVICE EQUIPMENT

Heating and cooling units must be:

- *Located towards the rear of the dwelling*
- *If roof mounted, positioned below the ridge line*
- *If roof mounted, coloured to match the roof as far as practical*
- *Noise attenuated*

5.3 RECYCLED WATER

The provision of recycled water will eventually be available to all residents of Hartleigh. This will provide recycled water for gardens, washing cars and other non-potable purposes. All dwellings must therefore incorporate plumbing to use this recycled water supply.

It is strongly recommended that owners allow for all toilets and 3 taps (located in the front garden, rear garden and in the laundry) to be connected to any future recycled water system.

If you do not make these allowances before you start construction, it is likely that you may face extra costs if you choose to take advantage of this service after your home has been completed.

5.4 BROADBAND

High speed internet services will be available at Hartleigh. In order to take advantage of these services, it is highly encouraged that your home is appropriately prepared.

Again, it is important that you consider the advantages and costs early in the decision making process and discuss it with your builder. Failure to prepare will most likely lead to additional costs if a decision to connect is made after the home is complete.

For details on how to prepare your home, please see your builder or refer to the website www.nbnco.com.au

5.5 SIGNAGE

1. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer.
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses must not exceed 200mm.

5.6 TIMING OF WORKS

1. Building works must commence within 12 months of settlement and must be completed within 12 months of work commencing.
2. Landscaping of the front yard, including the nature strip, must be completed within 3 months of the Certificate of Occupancy being issued.
3. Boundary fencing must be completed prior to the dwelling being occupied.
4. The garage must be constructed at the same time as the dwelling.
5. Driveways must be completed within 30 days of the Certificate of Occupancy being issued.

5.7 MAINTENANCE AND PROTECTION

1. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow growth of grass or weeds upon the lots in excess of 300mm high.
2. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.
3. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
4. It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.



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PROUDLY DEVELOPED BY





HARTLEIGH
**DESIGN
GUIDELINES.**
STAGE 5-19

1. INTRODUCTION

1.1	Hartleigh Vision	3
1.2	Design Guidelines	3
1.3	Approval Process	4
1.4	Submission Requirements	5
1.5	Submissions	5
1.6	Re-Submissions	6
1.7	Definitions	6

2. LAND

2.1	Lot Layout	8
2.2	Built Form Variety	9

3. ARCHITECTURE

3.1	Size	11
3.2	Form	12
3.3	Roofs	13
3.4	Garage	14
3.5	Corner Lot	15
3.6	External Materials and Finishes	16

4. LANDSCAPE

4.1	Front Garden	18
4.2	Landscape Guidelines	20
4.3	Driveways	30
4.4	Letterboxes	31
4.5	Retaining Walls	31
4.6	Fencing	32

5. OUTBUILDINGS

5.1	Sheds and Outbuildings	36
5.2	Service Equipment	36
5.3	Recycled Water	36
5.4	Broadband	37
5.5	Signage	37
5.6	Timing of Works	37
5.7	Maintenance and Protection	37





1. INTRODUCTION



1.1 HARTLEIGH VISION

Ideally situated on the rolling green hills of Clyde, this new boutique community offers families the rare opportunity to become a part of the future town centre. Close to existing amenity in the blossoming south-east, Hartleigh offers a great lifestyle opportunity now, with the promise of becoming something truly special over time.

Hartleigh delivers connectivity and quality without compromise. It has been skilfully master planned to become a place that residents will be proud to call home and where families can grow and evolve along with this burgeoning region of Melbourne. It will be a vibrant community that is destined to become the new heart of Clyde.

1.2 DESIGN GUIDELINES

The intent of these Design Guidelines is to help create an appealing living environment. They allow for the establishment of individualised houses that will sit comfortably next to each other in the street bringing about attractive, liveable neighbourhoods and a diverse, interesting community. This, in turn, also provides a measure of investment protection for the owners and community members.

The Design Guidelines describe important principles and parameters that must be considered in conjunction with the Building Envelope details and any other restrictions for each lot.

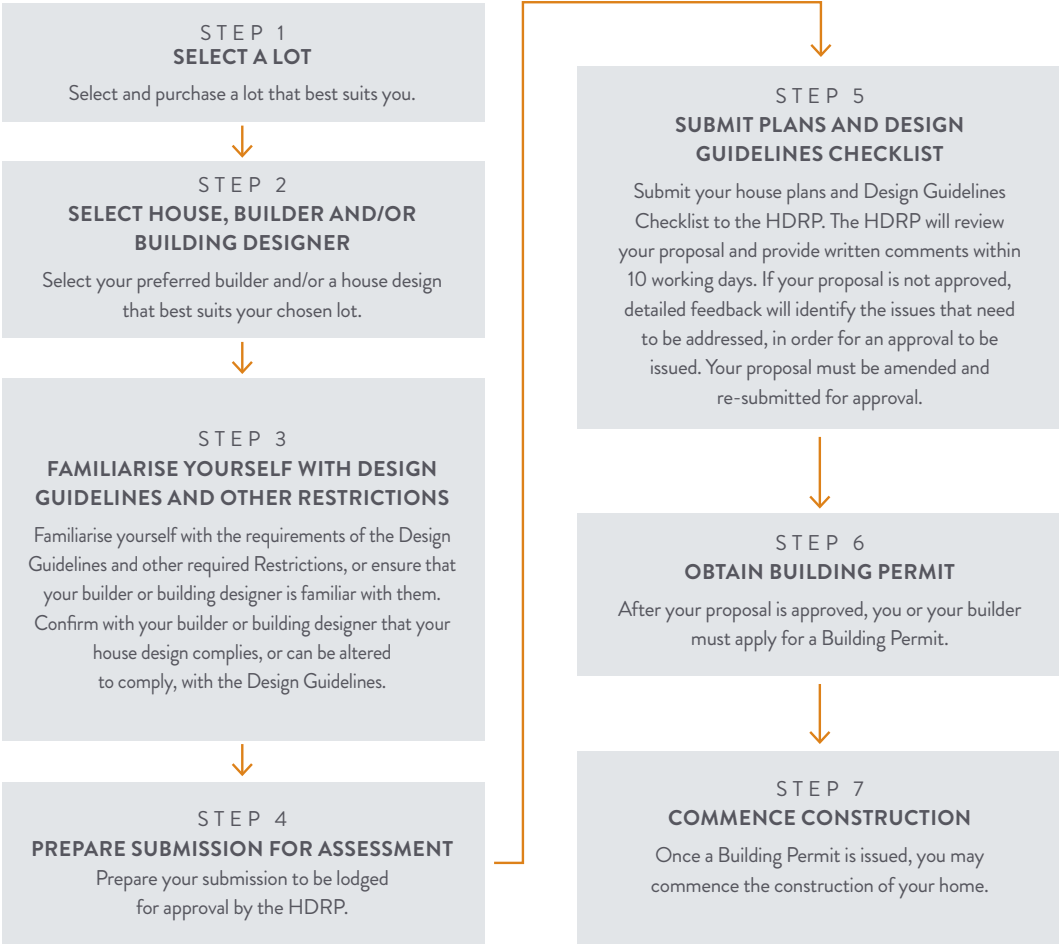
These requirements are in addition to, and not in lieu of, any State or local government planning or building approval requirements. It is the responsibility of the property owner (or their nominated agent) to check the current planning and building requirements relevant to the property being built on, to ensure the proposed design meets all legislative requirements.

1.3 APPROVAL PROCESS

Before a Building Permit is issued, or construction works started, the design and siting of a proposed dwelling must be approved by the Hartleigh Design Review Panel (HDRP). The HDRP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

In the interests of better achieving the diversity and visual interest that will promote more desirable neighbourhoods, the HDRP, at its absolute discretion, may approve a proposal that meets the objectives of these Design Guidelines without strictly complying with the wording herein. No claims shall be made to the developer or their representatives with respect to the decisions made or approvals given.

The diagram below shows the steps involved in obtaining the Developer’s Approval to build your new home. Please read it carefully so you are familiar with the process you will need to follow.



1.4 SUBMISSION REQUIREMENTS

All submitted documents must be in PDF file format:

1. Site plan at 1:100, with dimensions and showing:

 - Lot boundaries and any easement(s) on title
 - Proposed building footprint and all proposed setbacks
 - Contours (at 0.5m interval or less) or spot levels
 - On-site car parking and driveways
 - Other external structures (including pools and spas)
2. All floor plans, roof plans and elevations at 1:100, with dimensions and showing:

 - Internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
 - Proposed floor levels to AHD
3. Materials: Finishes and colour samples

 - Provide a PDF file with samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections
4. Landscape plan at 1:100, with dimensions and showing:

 - Indicative extent of all hardscape and softscape
 - Planting schedule that lists all proposed species referenced on landscape plan
5. For lots with greater than 1.5m land fall, please include the following, at 1:100:

 - At least one sectional drawing that explains the extent of proposed cut and fill location and heights of proposed retaining walls.

1.5 SUBMISSIONS

All applications for Developer’s Approval must be lodged via the Design Approval Portal at www.ngdd.com.au:



Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

1.6 RE-SUBMISSIONS

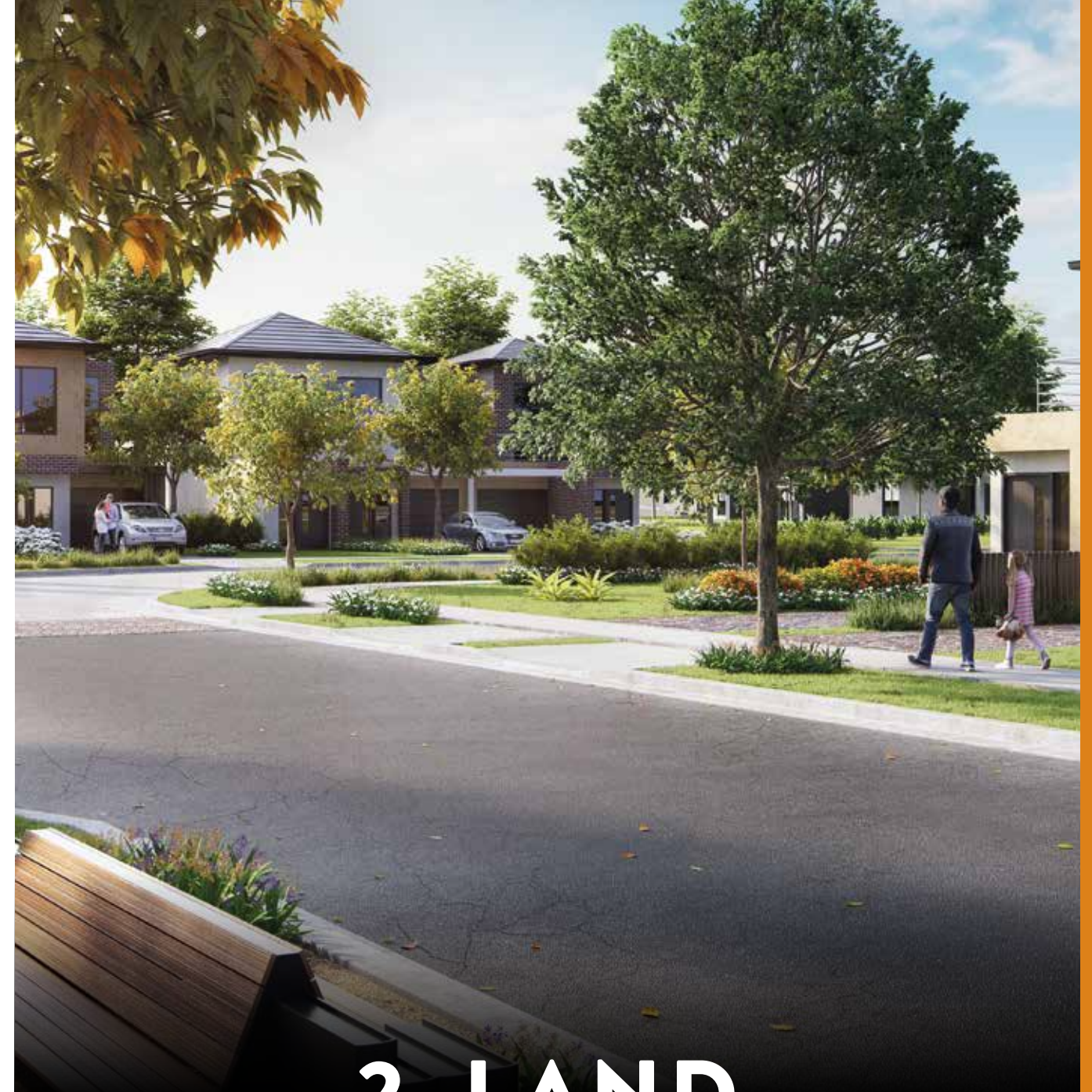
Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

Application for design approval is included in the sale price of the land. Additional applications after an approval has been granted will incur a fee.

1.7 DEFINITIONS

For the purposes of these guidelines:

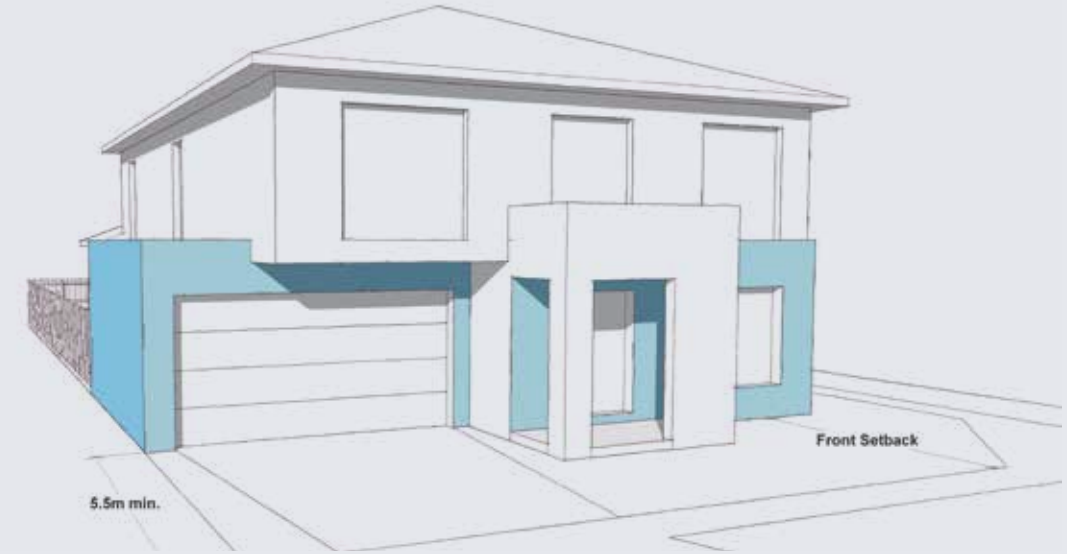
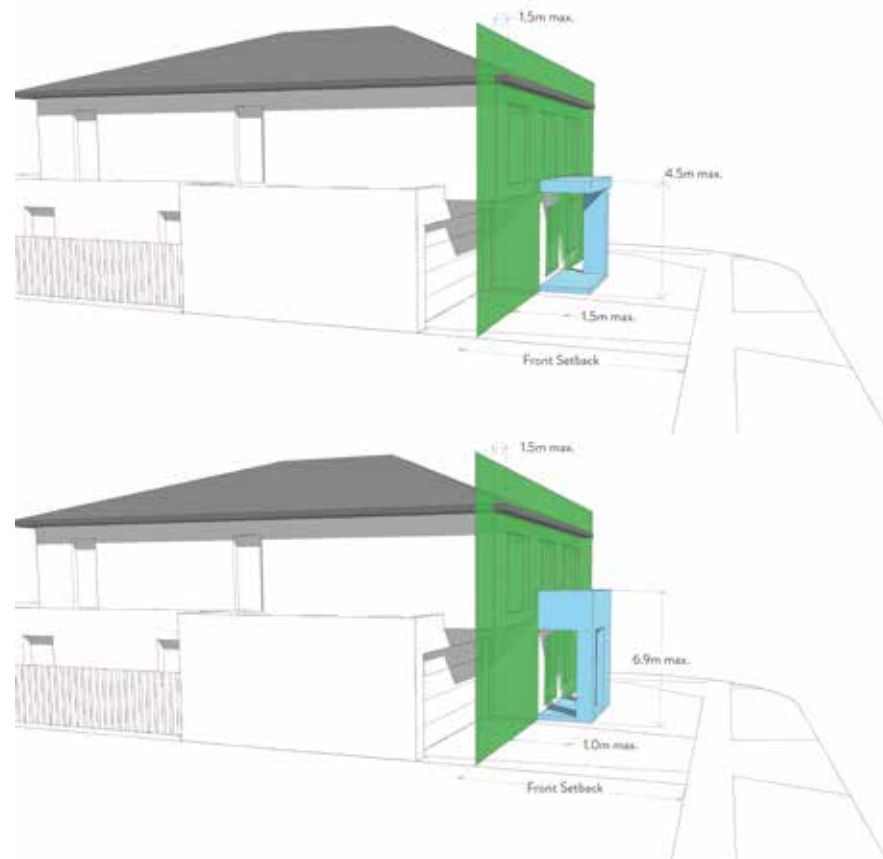
1. Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
2. Building Envelope Plan means the Building Envelope detailed on the Plan of Subdivision for a particular lot.
3. A corner lot is any lot that has more than one boundary that abuts the public realm.
4. On corner lots, the primary street frontage is the shorter of the two, unless noted otherwise in the building envelope plan.
5. A habitable room is a living room or a bedroom.
6. Natural Ground Level means the finished surface level of the ground after engineering works associated with the subdivision have been completed.



2. LAND

2.1 LOT LAYOUT

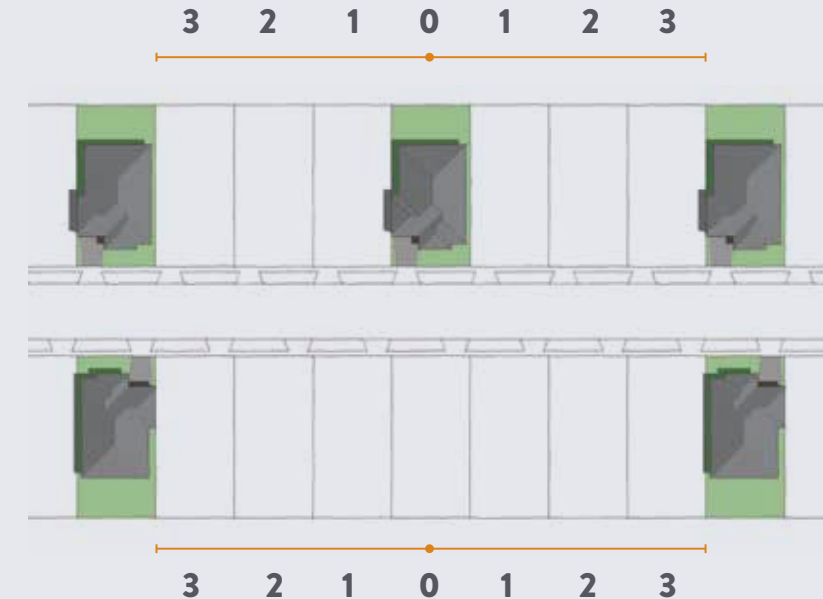
1. Only one dwelling may be built per lot, unless noted otherwise on the Building Envelope Plan.
2. Each dwelling, including the garage, must comply with the setbacks described by the building envelope for the lot.
3. In addition to the overall dwelling setbacks, the garage on a front lot must be set back 5.5m from the front boundary, unless the building envelope for the lot:
 - allows a setback of 3m, whereby the garage must be set back at least 5m; or
 - identifies the lot as having an alternative garage setback whereby the garage must not be setback between 3 and 5m from the primary frontage
4. Porticos, porches, pergolas and verandahs up to 4.5m in height may encroach up to 1.5m into the front setback, and 1m into a secondary Public Realm setback.
5. Balconies and architectural features up to 6.9m in height may encroach up to 1m into the front setback.
6. Eaves, gutters and fascias may encroach up to 1.5m into the front setback, 1m into a secondary public realm setback and 500mm into any other side or rear setback.



2.2 BUILT FORM VARIETY

To help promote a sense of identity for each home, each dwelling must be noticeably and obviously different from the other dwellings within 3 lots. This includes lots on the other side of a street or road.

If, in the opinion of the HDRP, two dwellings are too similar, the earlier of the two applications will take precedence.



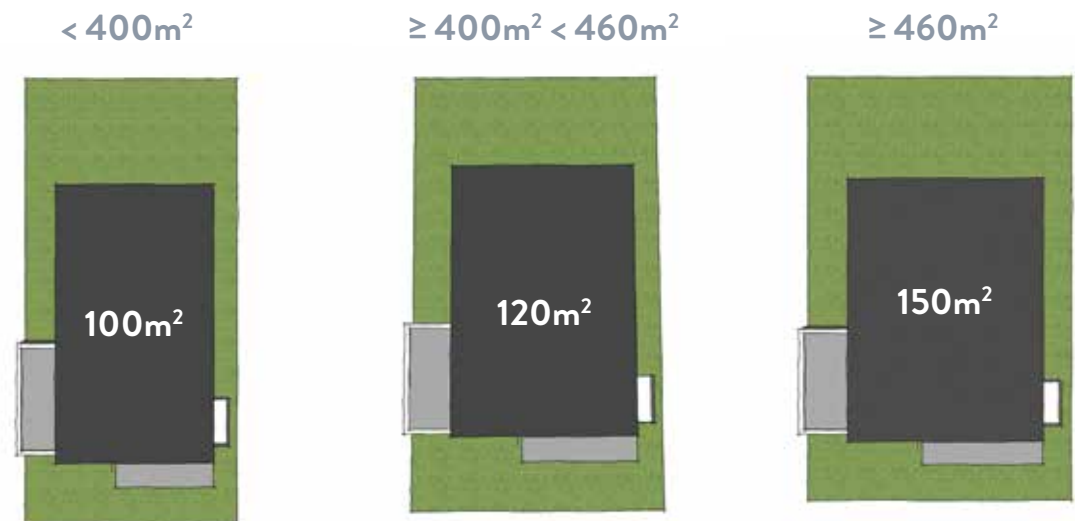
3. ARCHITECTURE

3.1 SIZE

There is a minimum size for each dwelling at Hartleigh. The dwelling size, measured at the external face of the external walls, and excluding garages and all unenclosed areas such as porticos, porches, verandahs, balconies, alfresco areas and the like, must be as follows:

LAND SIZE	DWELLING SIZE (LIVING AREA)
Less than 400m ²	100m ²
Greater than 400m ² and less than 460m ²	120m ²
Greater than 460m ²	150m ²

MINIMUM FLOOR AREAS REQUIRED:



3.2 FORM

- 1. Each dwelling must have an entrance feature that visually complements the architectural character of the dwelling and serves to make the location of the front door obvious from the primary frontage of the lot. Typical entry features include porticos, porches and verandahs.
- 2. Entry features must be designed as a separate element in the façade, independent from the main roof form.
- 3. The entry feature must have a minimum area of 3m² and cannot sit in under the main roof line of the dwelling.
- 4. Two storey dwellings must have a transition between the ground floor and the first floor.
- 5. Every dwelling must have at least one habitable room window that addresses the primary street frontage.

EXAMPLE OF ACCEPTABLE ENTRANCE DESIGN:



3.3 ROOFS

- 1. Pitched roofs are preferred, but flat and skillion roofs will be considered if they complement the architectural style of the dwelling.
- 2. Pitched roofs must incorporate eaves with a minimum depth of 450mm to each side of the dwelling that faces the public realm.
- 3. Corner lots will therefore have eaves along at least two sides.
- 4. Eaves must return for a minimum of 1.5 metres along the side wall of a dwelling that is on a lot with only one frontage, and along the back of a dwelling on a corner lot.
- 5. Roof cladding must complement the architectural style of the house.
- 6. Roof cladding must not be:
 - Unfinished
 - Reflective
 - Galvanised
 - Zinc
 - Fibre cement
 - Tray deck sheeting
- 7. Flat roofs must be screened by a parapet.
- 8. Parapets on the front façade must be returned for a minimum of 1.5 m along the side wall.

EXAMPLE OF APPROVED ROOFS:



3.4 GARAGE

1. All lots must provide an enclosed garage for at least one vehicle.
2. A double garage must be provided if the lot has a frontage of 12.5m or more.
3. Unenclosed carports are not permitted.
4. On front loaded lots, the garage must be set back a minimum of 840mm behind the front façade of the dwelling.
This distance is not to be measured from protruding porches, porticos, balconies, etc.
5. Garage openings facing the public realm must be:
 - No wider than a maximum of 40% of the lot width of the dwelling.
 - No more than 30% of the area of the front façade of the dwelling, measured from a 2-D elevation, excluding the roof of the dwelling, if the lot size is between 250m² - 300m² and the dwelling is more than one storey.
6. The garage must match or complement the dwelling in terms of external appearance (colour, materials, form etc).
7. Roller doors must not be used where they are visible from the public realm.
8. On rear loaded lots, the garage must be located to the rear of the lot.



3.5 CORNER LOT

Corner lots are in an important position in the context of both the streets that they are on, and the neighbourhood that they are in.

The dwellings on corner lots must therefore address each of the frontages that abut the public realm.

An appropriate way of doing this is to use the same or similar elements / features on each side of the dwelling that faces the public realm.

1. As a minimum, you must include 3 of the following elements from the primary frontage on the secondary frontage:
 - Windows with matching head heights
 - Materials that “turn the corner” to meet the return fence
 - Wall articulation such as protruding piers or recessed steps in the façade
 - Roof features such as gables etc.
 - Pergolas, porches, balconies etc.
2. The elements used must be located forward of the return fence.
 - Blank walls are not permitted forward of the return fence on a corner lot
3. Lightweight infill panel(s) must not be used above any wall openings if they are readily visible from the public realm.



3.6 EXTERNAL MATERIALS AND FINISHES

1. Face brickwork must not account for any more than 60% of the area of the front façade, not including any openings such as windows or doors.
2. At least 2 different materials or colours must be used in the walls that address the public realm.
Approved materials or finishes include:
 - *Render*
 - *Masonry blocks*
 - *Weatherboard*
 - *Timber cladding*
 - *Other materials at the discretion of the HDRP*
3. Whilst there are no mandatory colour requirements for the dwellings at Hartleigh, proposed colours must be approved by the HDRP. Printed colour samples or colour photos of the exterior materials and finishes must be included in the application for the Developer's Design Approval. It is strongly encouraged that all external building materials are in natural muted colours.
4. Reflective glazing or glazing with applied film is not permitted.

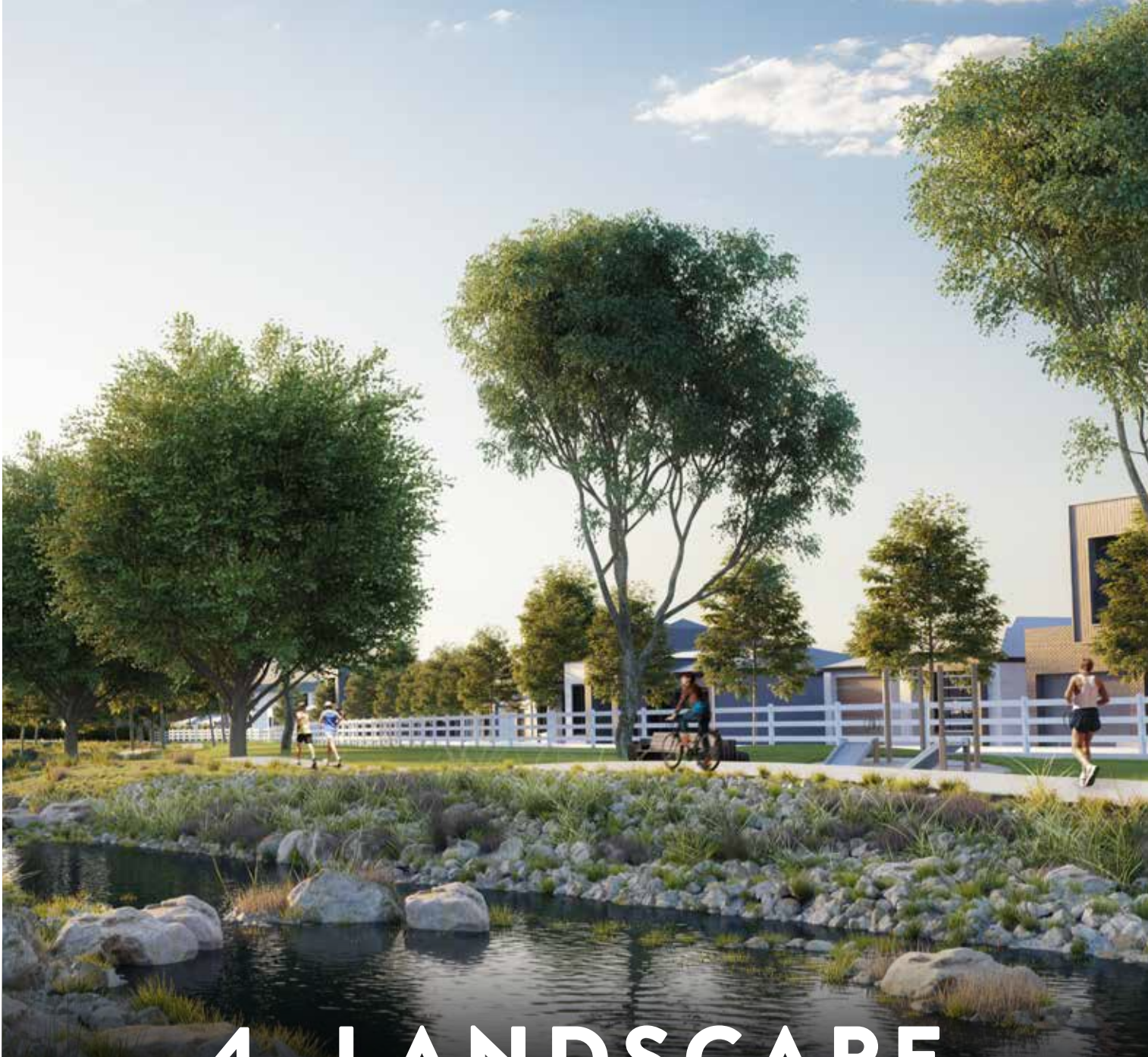
EXAMPLES OF PREFERRED EXTERNAL NATURAL MUTED COLOURS:



EXAMPLES OF APPROVED EXTERNAL DESIGNS AND MATERIALS:



EXAMPLE OF NON PREFERRED EXTERNAL DESIGN:



4. LANDSCAPE

4.1 FRONT GARDEN

Together with the dwelling itself, the front yard of each lot is a major component of the visual realm of Hartleigh. While each resident has direct control over their individual front yard, every resident experiences all the front yards by simply being in the street. A well designed, constructed and maintained front yard will therefore enhance everyone's experience and enjoyment.

In order to help achieve this, and to assist you with the design of your front yard, we have developed five different design options for you to choose from. Each one aims to create a leafy character and well-planted front yard for all residents to enjoy in the future. Details of each of the designs are included in this document.



DESIGN OPTIONS:

The front yard designs have been prepared to suit an average lot layout and can be adapted to suit your lot orientation, size, topography and house plan.

The designs incorporate a range of styles with plants to suit both the local conditions of the site and complement the streetscape. Certain designs may be better suited to your house layout and style. You can ask your preferred landscape professional for further advice about which to choose.

PROCESS:

You may choose one of the garden designs or alternatively, you can submit a similar plan to the HDRP in accordance with the design principles outlined below. The plan must be prepared by a suitably qualified landscape professional.

Upon completion of the landscape installation, you can apply to the HDRP for a \$2,000 rebate as a contribution towards the cost of your front yard. Your garden will need to comply with the design options or landscape design principles as outlined below in order to be eligible for this rebate.

The landscape must, however, be installed within 90 days of the issued Certificate of Occupancy, unless this is during the summer period, in which case the garden must be installed by the 30th April.

DESIGN PRINCIPLES FOR CONSIDERATION:

1. Your front garden should include a minimum of one canopy tree – installed in a 45Lt pot/2.0m high.
2. Vegetation selection must include drought tolerant, adaptable plant species suited to the local conditions of Clyde as suggested in the plant theme/palettes provided.
3. A minimum of 50% of the front garden must include permeable surfaces, including but not limited to grass, gravel and mulch.
4. Landscaping elements must be used to soften, or screen the appearance of storage, services and parking areas.
5. Landscape elements and planting must be in proportion to the availability of space provided and be well planted so as to enable full coverage of the garden bed, when established.
6. Landscaping features must maintain a degree of passive surveillance of entry points to dwellings.
7. Landscape elements must not interfere with utility services.
8. Selection of appropriate plant species and heights of landscape elements should not impact on adjacent properties through overshadowing or intrusive root systems.
9. A minimum 500mm wide planting strip is to be provided between the driveway and the side boundary (or 300mm if the garage is located on the side boundary).

4.2 LANDSCAPE GUIDELINES

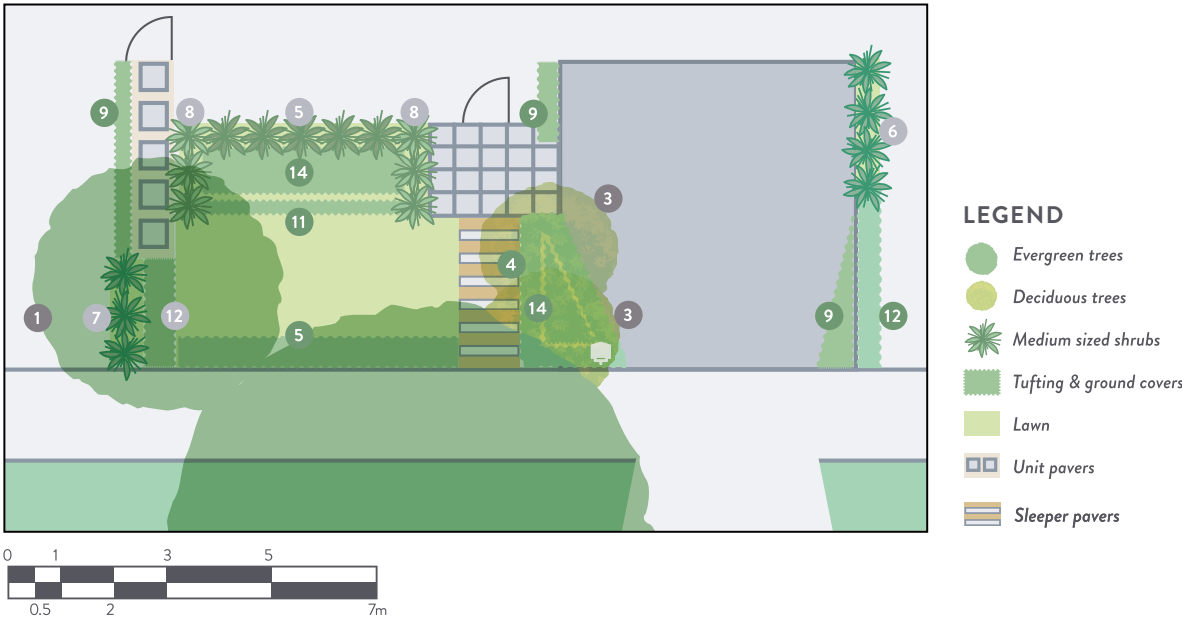
Option One – Design Intent:

A formal garden with a symmetrical and structured design through its layout and plant selection.

The design features a low hedge along the frontage and sides to border your home with luscious greenery. Canopy trees are placed to frame your property and create a sense of entry and address to your home.

Planting is carefully selected to consist of greens with close consideration to its plant forms and foliage textures.

FORMAL GARDEN:



INDICATIVE PLANT IMAGES:



PYR cal



TRI lau



WAT flo



TRA jas

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7–12 x 5–8
2. WAT flo	Waterhousia Floribunda	Weeping Lilly Pilly (Hedged)	5 x 1.5
Deciduous Trees			
3. PYR cal	Pyrus Calleryana	Callery Pear	9–12 x 3–6
Shrubs			
4. BUX sem	Buxus Sempervirens	English Box (Clipped)	0.3 x 0.3
5. GAR aug	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
6. JUN vir	Juniperus Virginiana ‘Spartan’	Spartan Conifer	4 x 1
7. MUR pan	Murraya Paniculata	Orange Jessamine (Clipped)	3 x 2
8. SYZ aus	Syzygium Australe ‘Bush Christmas’	Dwarf Lilly Pilly	1.5 x 0.5
Tufting & Ground Covers			
9. DIA cae	Dianella Caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
10. DIE gra	Dietes Grandiflora	Wild Iris	1 x 1
11. LIR mus	Liriope Muscari	Lily Turf	0.5 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7–1 x 1
Climbers			
13. FIC pum	Ficus Pumila ‘Minima’	Creeping Fig	-
14. TRA jas	Trachelospermum Jasminoides	Chinese Star Jasmine	-

* Trees to be installed at minimum 45Llt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



BUX sem



GAR aug



LIR mus



DIE gra



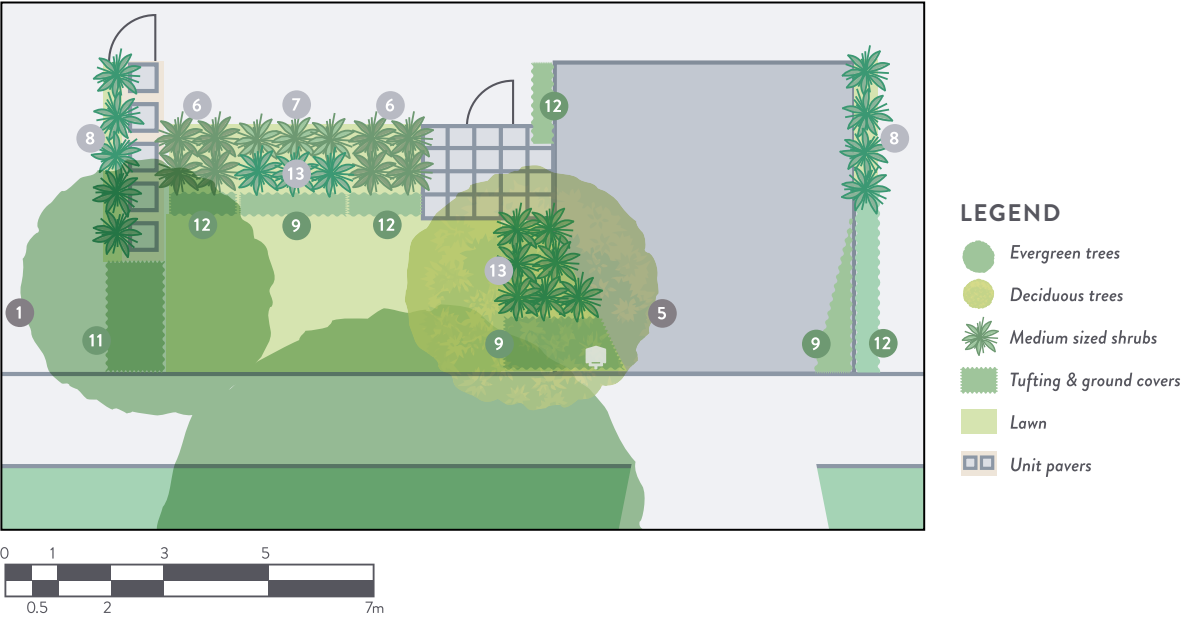
DIA cae

Option Two – Design Intent:

This traditional garden features the classic Aussie lawn frontage. Canopy trees are well-placed to allow a framed view from your living space as well as providing privacy from the street.

Planting is carefully selected to consist of floral spacing and well considered traditional based planting.

TRADITIONAL GARDEN:



INDICATIVE PLANT IMAGES:



ACE bue



TRI lau



MAG sou



ROS jus

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. TRI lau	Tristaniaopsis Laurina 'Luscious'	Kanooka	7–12 x 5–8
2. EUC man	Eucalyptus mannifera 'Little Spotty'	Red Spotted Gum	8 x 6
Deciduous Trees			
3. LAG nat	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	8 x 6
4. MAG sou	Magnolia x soulangeana	Tulip Magnolia	6 x 5
5. ACE bue	Gardenia Augusta 'Florida'	Gardenia	1 x 1
Shrubs			
6. CHO ter	Choisya ternata	Mexican Orange Blossom	1.2 x 1.2
7. CRO exa	Crovia exalata	Waxflower	0.7 x 1.0
8. HEB alb	Hebe 'Wiri Mist'	Wiri Mist Hebe	1.5 x 0.80
Tufting & Ground Covers			
9. CER tom	Cerastium tomentosum	Snow in Summer	0.2 x 2
10. DIA cae	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3–0.5 x 0.3
11. DIE gra	Diets grandiflora	Wild Iris	1 x 1
12. LOM lon	Lomandra Longifolia 'Tanika'	Spiny-Headed Mat-Rush	0.7–1 x 1
13. ROS jus	Rosa 'Just Joey'	Hybrid Tea Rose	0.75 x 1.0
Climbers			
14. ROS ban	Rosa banksiae 'lutescens'	Banksia Rose	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



HEB alb



CHO ter



CRO exa



CER tom



LOM lon

Option Three – Design Intent:

This design features paths with stone pavers which complement the bush organic garden setting.

The design features large arcs which define the layout. The planting design consists of multiple trees which complement the organic setting whilst offering privacy from the street.

This design consists of classic native plants and shrubbery.

NATIVE GARDEN:



INDICATIVE PLANT IMAGES:



EUC pau



ALL lit



COR ref



GRE moo

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. ACA mel	Acacia melanoxylon	Blackwood	12 x 7
2. ALL lit	Allocasuarina littoralis	Black She-Oak	5 x 3
3. EUC pau	Eucalyptus pauciflora ‘Little Snowman’	Snow Gum	7 x 4
Deciduous Trees			
4. MEL aze	Melia azedarach ‘Elite’	White Cedar	10 x 6
Shrubs			
5. BAN spi	Banksia spinosa	Hairpin Banksia	3 x 3
6. COR ref	Correa reflexa	Common Correa	3 x 2
7. GRE moo	Grevillia ‘Moonlight’	Grevillea	4 x 3
8. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
Tufting & Ground Covers			
9. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
10. DIA rev	Dianella revoluta	Spreading Flax Lily	0.5 x 0.5
11. EPA imp	Epacris impressa	Common Heath	0.7 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7-1 x 1
13. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
14. POA mor	Poa morrisii	Velvet Tussock Grass	0.5 x 0.5
15. TET cil	Tetratheca ciliata	Pink Bells	0.4 x 0.4
Climbers			
16. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



WES gem



BRA mul



PAT occ



POA mor



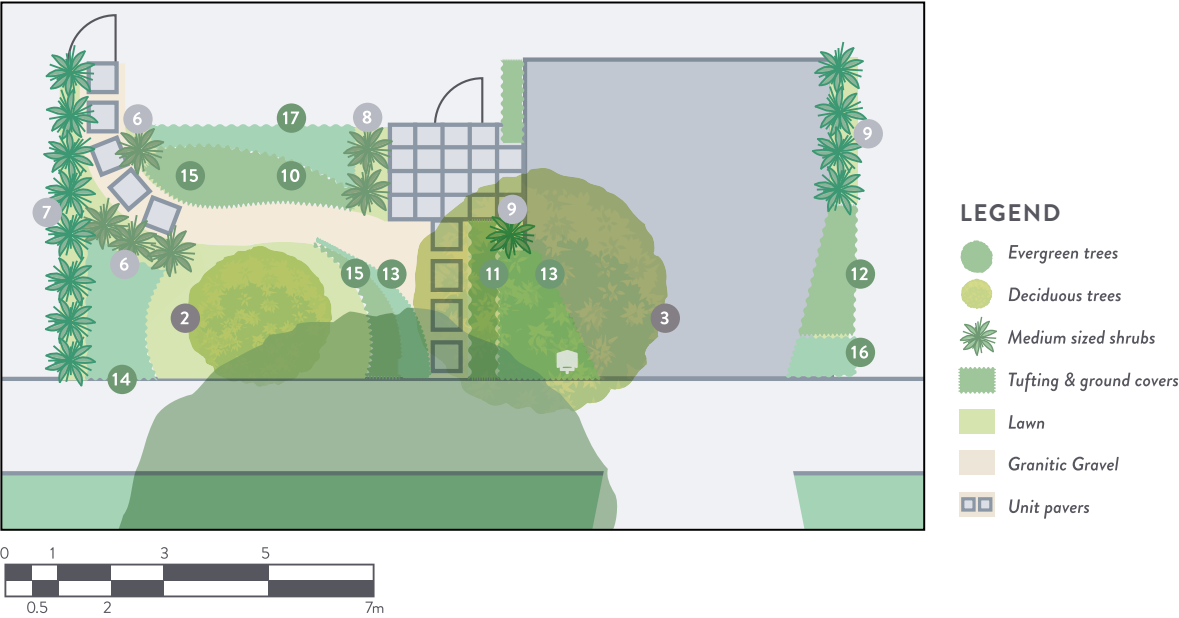
TET cil

Option Four – Design Intent:

Cottage garden with a native planting twist.
This design features a path which gently winds its width across the garden.

The design is a combination of organic and traditional, allowing plants to cascade over the path and weave through each other creating the cottage charm. The planting consists of dense planting and a mixture of ornamental floristic and textured plants.

COTTAGE GARDEN:



INDICATIVE PLANT IMAGES:



COR fic



GLE tri



LAG yum



EUP cha

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. COR fic	Corymbia ficifolia 'Fairy Floss'	Flowering Gum	6 x 4
Deciduous Trees			
2. GLE tri	Gleditsia triacanthos var. 'Elegantissima'	Compact Honey Locust	5 x 3
3. LAG yum	Lagerstroemia indica 'x Yuma'	Natchez Crepe Myrtle	4 x 3
4. TIL cor	Tilia cordata 'PNI 6025' - Greenspire	Greenspire Lime	9 x 6
5. ULM par	Ulmus parvifolia	Chinese Elm	8 x 8
Shrubs			
6. EUP cha	Euphorbia characias 'Wulfenii'	Milkweed Spurge	1 x 1
7. WES gem	Westringia 'Wynabbie Gem'	Wynabbie Gem Westringia	1.5 x 1.5
8. ROS off	Rosmarinus officinalis	Rosemary	1 x 1.5
9. HEB ins	Hebe 'Inspiration'	Hebe	1 x 1
Tufting & Ground Covers			
10. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
11. DAM div	Dampiera diversifolia	Dampiera	Pros x 0.3
12. DIA cae	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3–0.5 x 0.3
13. IRI ger	Iris Germanica	German Iris	0.5 x 0.3
14. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
15. SCA mau	Scaevola 'Mauve Clusters'	Fairy Fan Flower	0.3 x 0.5
16. STA byz	Stachys byzantina	Lamb's Ears	0.3 x 0.3
17. TET Fai	Tetratheca 'Fairy Bells'	Fairy Bells	0.4 x 0.4
Climbers			
18. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



ROS off



DIA cae



IRI ger



SCA mau



STA byz

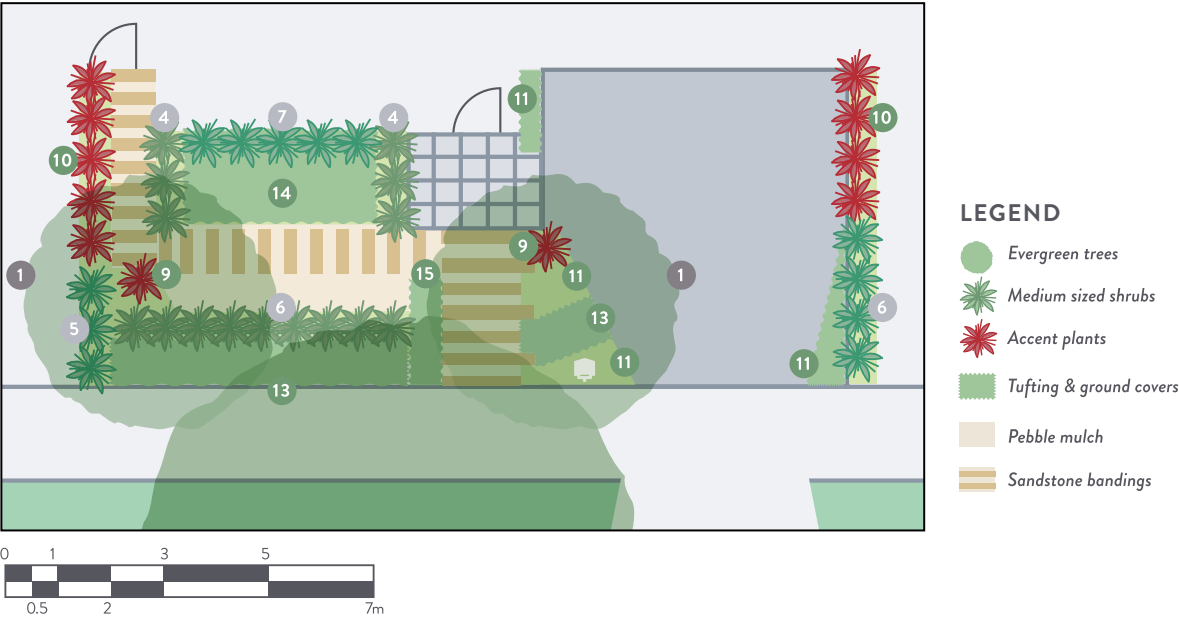
Option Five – Design Intent:

Contemporary garden with a dash of the bush, low maintenance and modern shapes.

The modern garden design draws upon simplicity and low maintenance, with a sense of sophistication.

The interface with the street consists of accent plants providing contrast and colour.

CONTEMPORARY GARDEN:



INDICATIVE PLANT IMAGES:



AGO fle



EUC man



ACA cog



LEU lau

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. AGO fle	Agonis flexuosa 'Burgundy'	Willow Myrtle	5 x 3
2. EUC man	Eucalyptus mannifera 'Little Spotty'	Red Spotted Gum	8 x 6
Deciduous Trees			
3. ACE bu	Acer buergerianum	Trident Maple	6 x 6
Shrubs			
4. ACA cog	Acacia cognata 'Limelight Wattle'	Limelight Wattle	1 x 1
5. DOD vis	Dodonaea viscosa 'Purpurea'	Purple Sticky Hop Bush	3 x 2
6. LEU lau	Leucadendron laeolium x salignum	Inca Gold	1 x 1
7. EUP cha	Euphorbia characias 'Wulfenii'	Milkweed Spurge	1 x 1
8. WES gem	Westringia 'Wynabbie Gem'	Wynabbie Gem Westringia	1.5 x 1.5
Tufting & Ground Covers			
9. AGA att	Agave attenuata	Agave	0.7 x 0.5
10. COR red	Cordyline 'Red Fountain'	Red Fountain Cordyline	1 x 1
11. DIA cae	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3–0.5 x 0.3
12. LEU bro	Leucophyta brownii	Cushion Bush	1 x 1
13. LOM lon	Lomandra longifolia 'Tanika'	Spiny-headed Mat-rush	0.7–1 x 1
14. MYO par	Myoporum parvifolium	Creeping Boobialla	prostrate x 2
15. PHO pur	Phormium 'Bronze Baby'	Dwarf New Zealand Flax	0.7 x 0.7

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



AGA att



COR red



LEU bro



MYO par

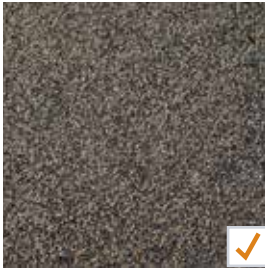


PHO pur

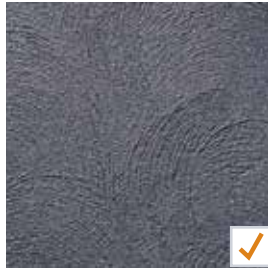
4.3 DRIVEWAYS

1. Only one crossover is permitted per frontage.
2. The driveway must form an impervious surface. Allowable finishes for driveways include:
 - *Exposed aggregate concrete*
 - *Coloured-through concrete; and pavers*
3. Natural (plain) coloured concrete and colour-on concrete driveways are not permitted.
4. The driveway must be offset from the side boundary by at least 400mm to allow for a planting strip between the boundary and the driveway.
5. The driveway must not be wider than the width of the crossover at the boundary and should be no wider than the garage door where it meets the dwelling.

**EXPOSED
AGGREGATE**



**COLOURED-
THROUGH**



PAVERS



**STENCILLED
CONCRETE**



4.4 LETTERBOXES

1. Letterboxes supported on a single post are not permitted.
2. Letterboxes should match or complement the appearance of the dwelling.



4.5 RETAINING WALLS

1. Where required, retaining walls must not exceed 1.0 metre in height above natural ground level.
2. Retaining walls are to be constructed of either:
 - *A proprietary masonry block system*
 - *Timber sleeper / steel post construction*
3. In the case of timber sleeper / steel post retaining walls:
 - Timber sleepers must be:
 - *At least 50x200mm*
 - *No more than 2.4m long*
 - Steel posts must be:
 - *Either 100UC (Universal Channel) or 100PFC (Parallel Flange Channel) for wall ends*
 - *Steel posts must be galvanised*
 - *Retaining walls must be capped with 50x200mm sleepers to conceal post tops*
4. Provision should be made for adequate drainage behind retaining walls, and connection to on-site stormwater drains.
5. Provision should also be made for garden bed planting (minimum 300mm width) in front of retaining walls.

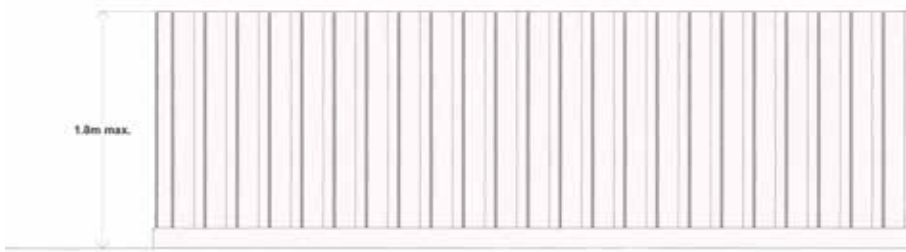
EXAMPLE OF APPROVED RETAINING WALL



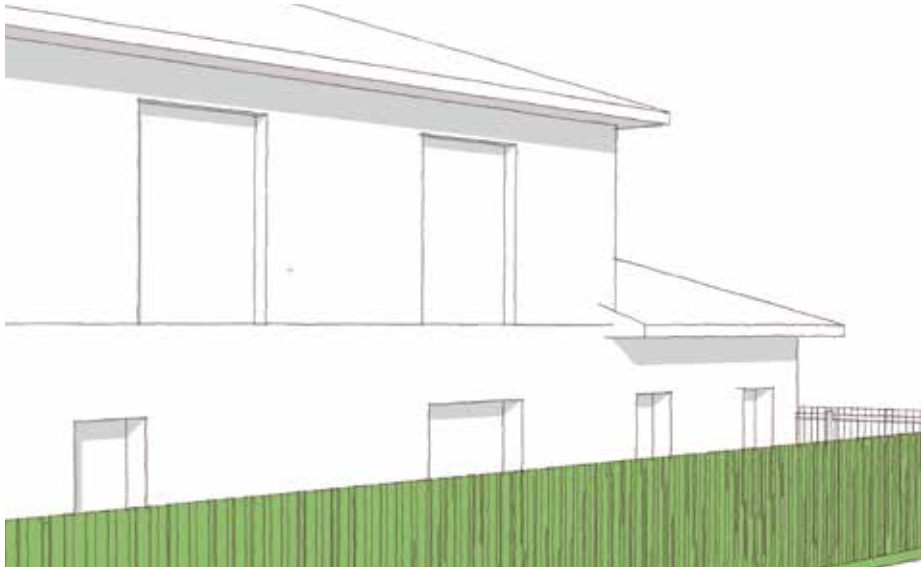
4.6 FENCING

SIDE AND REAR FENCING (Fencing between lots):

- 1. Side and rear fencing must be:
 - Constructed of timber posts and rails and lapped timber palings
 - A maximum of 1.8 metres in height, above natural ground level
- 2. Side fencing must be:
 - Set back at least 1.0 metre behind the dwelling frontage alignment
 - Returned to meet the side of the dwelling (return fence)

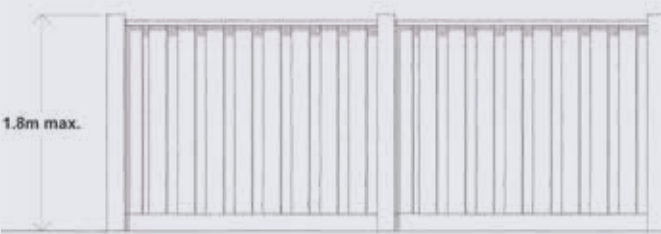


- 3. A gate is allowable in the return fencing provided that it is constructed of the same material as the side fencing.



CORNER FENCING
(FENCING TO A PUBLIC REALM BOUNDARY OTHER THAN THE FRONTAGE):

- 4. Developer will provide corner fencing.
- 5. Corner fencing must be:
 - Constructed of exposed timber posts and rails, lapped timber palings and timber capping
 - A maximum of 1.8 metres in height, above natural ground level
 - Set back at least 3.0 metres behind the dwelling frontage alignment
 - Returned to meet the side of the dwelling (return fence)



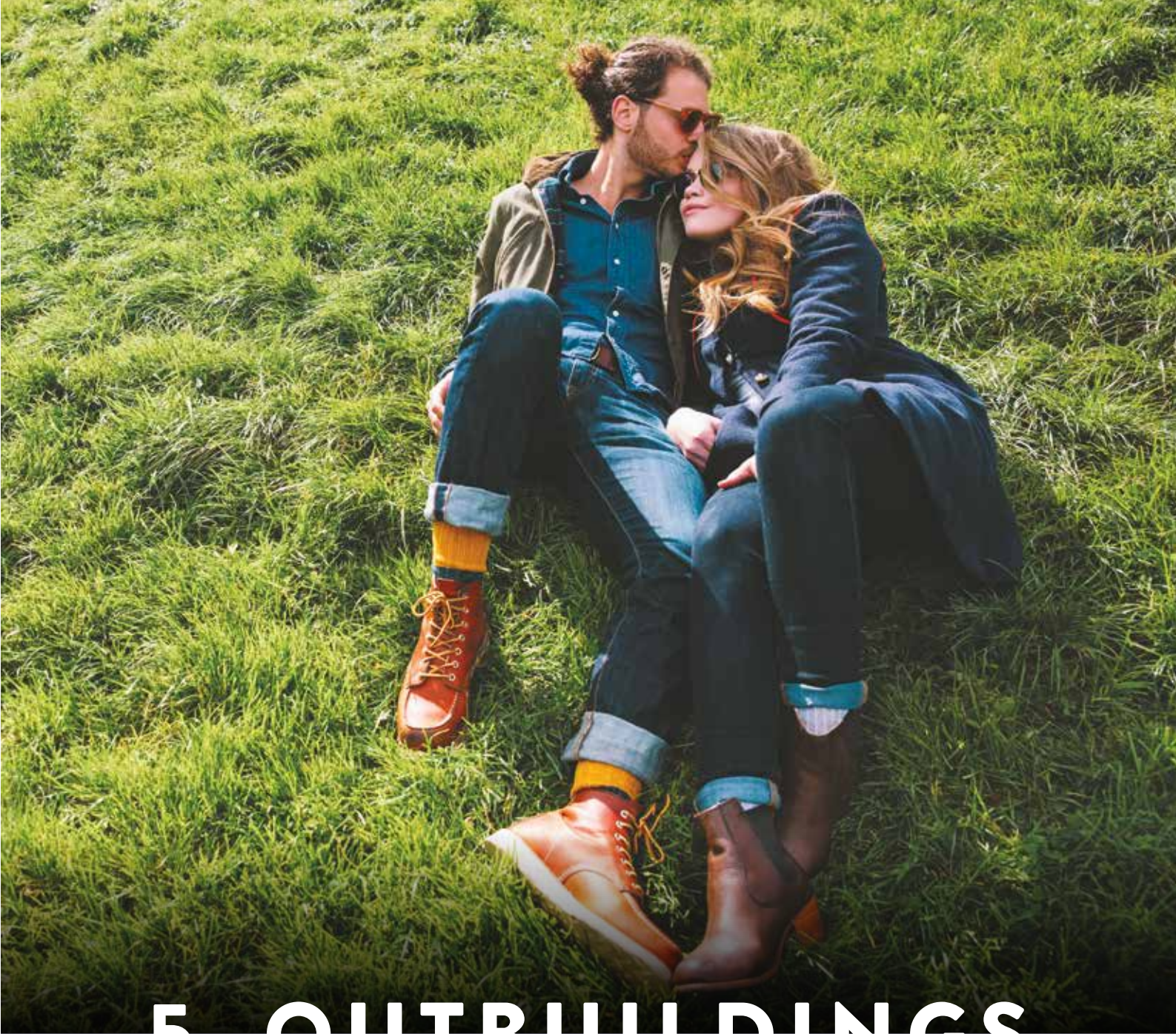
EXAMPLE OF APPROVED FENCING FOR CORNER LOT:



FRONT FENCING:

- 6. A gate is allowable in the return fencing provided that it is constructed of the same material as the corner fencing.
 - 7. Owner to match any access fencing / gate to corner fence provided by developer.
 - 8. Where provided, front fencing must be:
 - No more than 1.2 metre in height above natural ground level
 - Complementary to the style and materials of the dwelling
- Constructed of one of the following:**
- Rendered masonry
 - Face brick
 - Stone-faced masonry
 - Timber pickets/battens on a timber or powder coated steel frame
 - Powder coated/anodised metal fencing comprising horizontal top and bottom rails and vertical pickets/rods and posts
 - Continued at the same height along the side boundary to meet the return fence or garage on the boundary
- 9. On corner lots, the front fence must continue along the spay and secondary boundary to meet the return fence.
 - 10. Gates (where provided) must be of a style and material which is complementary to the style and material of the fencing.
 - 11. Wing fencing is only to be provided for dwellings where front fencing is provided.
 - 12. Wing fencing must be:
 - Constructed of the same material as the remainder of side fencing
 - Of a height to match the height of front fencing

WING FENCING (FENCING BETWEEN THE RETURN FENCE AND THE FRONT FENCE):



5. OUTBUILDINGS

5.1 SHEDS AND OUTBUILDINGS

1. If less than 10m² in area, sheds and outbuildings must not be readily visible from the public realm.
2. If more than 10m² in area, sheds and outbuildings must match or complement the appearance of the dwelling in form and colour.

SCREENING:

3. Ancillary structures and elements must be located so that they are not readily visible from the public realm.
This include items such as:
 - *Rubbish bin storage areas*
 - *Washing lines*
 - *Hot water systems*
 - *Any water storage tanks*
 - *Swimming pools*
 - *Spa equipment*
 - *External plumbing other than that for rain water*
 - *Satellite dishes and TV aerials*
4. Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.

5.2 SERVICE EQUIPMENT

Heating and cooling units must be:

- *Located towards the rear of the dwelling*
- *If roof mounted, positioned below the ridge line*
- *If roof mounted, coloured to match the roof as far as practical*
- *Noise attenuated*

5.3 RECYCLED WATER

The provision of recycled water will eventually be available to all residents of Hartleigh. This will provide recycled water for gardens, washing cars and other non-potable purposes. All dwellings must therefore incorporate plumbing to use this recycled water supply.

It is strongly recommended that owners allow for all toilets and 3 taps (located in the front garden, rear garden and in the laundry) to be connected to any future recycled water system.

If you do not make these allowances before you start construction, it is likely that you may face extra costs if you choose to take advantage of this service after your home has been completed.

5.4 BROADBAND

High speed internet services will be available at Hartleigh. In order to take advantage of these services, it is highly encouraged that your home is appropriately prepared.

Again, it is important that you consider the advantages and costs early in the decision making process and discuss it with your builder. Failure to prepare will most likely lead to additional costs if a decision to connect is made after the home is complete.

For details on how to prepare your home, please see your builder or refer to the website www.nbnco.com.au

5.5 SIGNAGE

1. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer.
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses must not exceed 200mm.

5.6 TIMING OF WORKS

1. Building works must commence within 12 months of settlement and must be completed within 12 months of work commencing.
2. Landscaping of the front yard, including the nature strip, must be completed within 3 months of the Certificate of Occupancy being issued.
3. Boundary fencing must be completed prior to the dwelling being occupied.
4. The garage must be constructed at the same time as the dwelling.
5. Driveways must be completed within 30 days of the Certificate of Occupancy being issued.

5.7 MAINTENANCE AND PROTECTION

1. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow growth of grass or weeds upon the lots in excess of 300mm high.
2. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.
3. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
4. It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.



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PROUDLY DEVELOPED BY



1.	INTRODUCTION	
1.1	Hartleigh Vision	3
1.2	Design Guidelines	3
1.3	Approval Process	4
1.4	Submission Requirements	5
1.5	Submissions	5
1.6	Re-Submissions	6
1.7	Definitions	6
2.	LAND	
2.1	Lot Layout	8
2.2	Built Form Variety	9
3.	ARCHITECTURE	
3.1	Size	11
3.2	Form	12
3.3	Roofs	13
3.4	Garage	14
3.5	Corner Lot	15
3.6	External Materials and Finishes	16
3.7	Dress Circle Precinct Design Guidelines	16
3.7.1	Built Form Variety	16
3.7.2	Form	16
3.7.4	Garage	16
3.7.5	External Materials and Finishes	16
4.	LANDSCAPE	
4.1	Front Garden	20
4.2	Landscape Guidelines	22
4.3	Driveways	32
4.4	Letterboxes	33
4.5	Retaining Walls	33
4.6	Fencing	34
5.	OUTBUILDINGS	
5.1	Sheds and Outbuildings	38
5.2	Service Equipment	38
5.3	Recycled Water	38
5.4	Broadband	39
5.5	Signage	39
5.6	Timing of Works	39
5.7	Maintenance and Protection	39





1. INTRODUCTION



1.1 HARTLEIGH VISION

Ideally situated on the rolling green hills of Clyde, this new boutique community offers families the rare opportunity to become a part of the future town centre. Close to existing amenity in the blossoming south-east, Hartleigh offers a great lifestyle opportunity now, with the promise of becoming something truly special over time.

Hartleigh delivers connectivity and quality without compromise. It has been skilfully master planned to become a place that residents will be proud to call home and where families can grow and evolve along with this burgeoning region of Melbourne. It will be a vibrant community that is destined to become the new heart of Clyde.

1.2 DESIGN GUIDELINES

The intent of these Design Guidelines is to help create an appealing living environment. They allow for the establishment of individualised houses that will sit comfortably next to each other in the street bringing about attractive, liveable neighbourhoods and a diverse, interesting community. This, in turn, also provides a measure of investment protection for the owners and community members.

The Design Guidelines describe important principles and parameters that must be considered in conjunction with the Building Envelope details and any other restrictions for each lot.

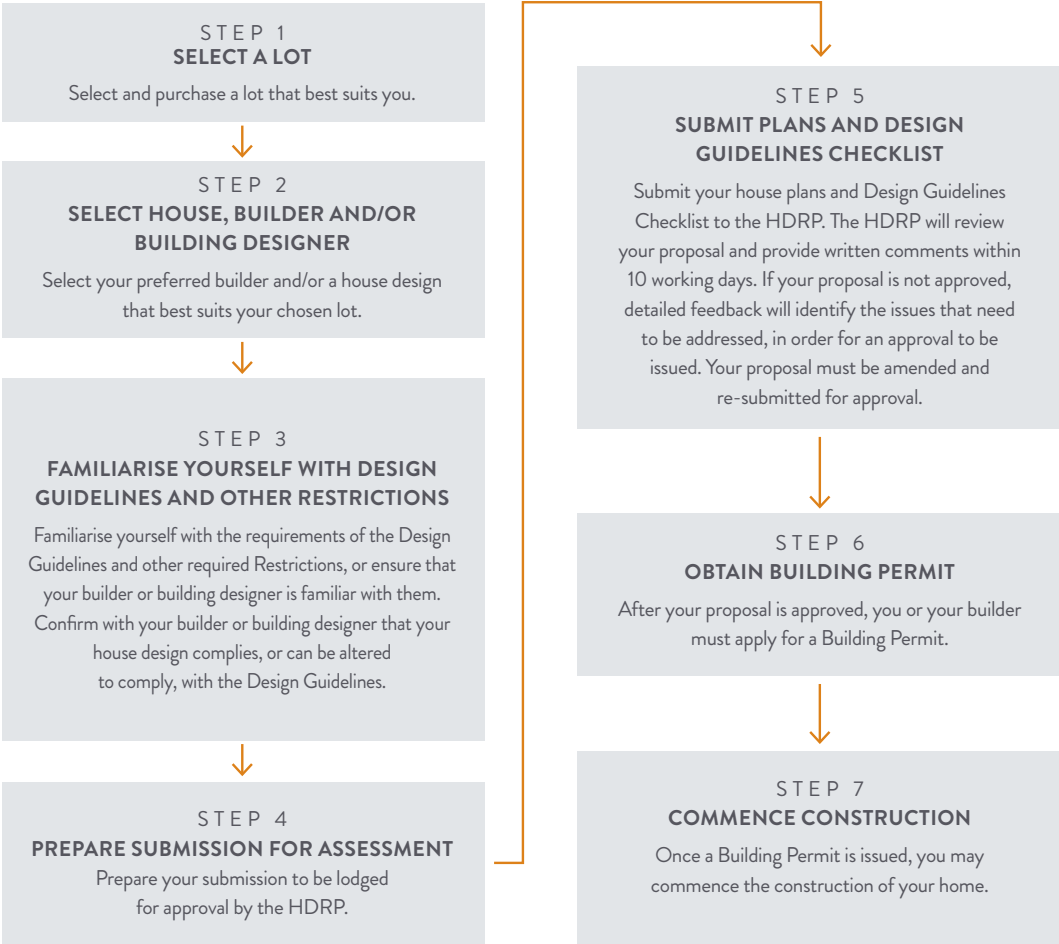
These requirements are in addition to, and not in lieu of, any State or local government planning or building approval requirements. It is the responsibility of the property owner (or their nominated agent) to check the current planning and building requirements relevant to the property being built on, to ensure the proposed design meets all legislative requirements.

1.3 APPROVAL PROCESS

Before a Building Permit is issued, or construction works started, the design and siting of a proposed dwelling must be approved by the Hartleigh Design Review Panel (HDRP). The HDRP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

In the interests of better achieving the diversity and visual interest that will promote more desirable neighbourhoods, the HDRP, at its absolute discretion, may approve a proposal that meets the objectives of these Design Guidelines without strictly complying with the wording herein. No claims shall be made to the developer or their representatives with respect to the decisions made or approvals given.

The diagram below shows the steps involved in obtaining the Developer’s Approval to build your new home. Please read it carefully so you are familiar with the process you will need to follow.



1.4 SUBMISSION REQUIREMENTS

All submitted documents must be in PDF file format:

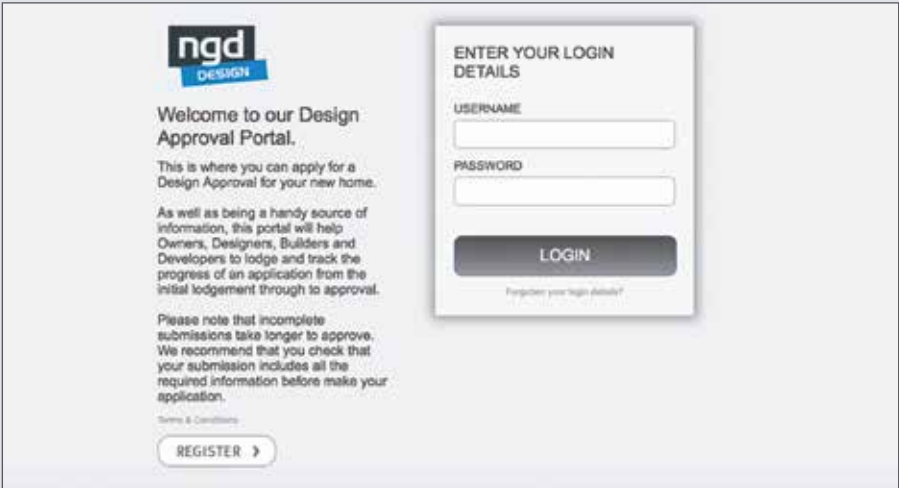
1. Site plan at 1:100, with dimensions and showing:
 - Lot boundaries and any easement(s) on title
 - Proposed building footprint and all proposed setbacks
 - Contours (at 0.5m interval or less) or spot levels
 - On-site car parking and driveways
 - Other external structures (including pools and spas)

2. All floor plans, roof plans and elevations at 1:100, with dimensions and showing:
 - Internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
 - Proposed floor levels to AHD
3. Materials: Finishes and colour samples
 - Provide a PDF file with samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections

4. Landscape plan at 1:100, with dimensions and showing:
 - Indicative extent of all hardscape and softscape
 - Planting schedule that lists all proposed species referenced on landscape plan
5. For lots with greater than 1.5m land fall, please include the following, at 1:100:
 - At least one sectional drawing that explains the extent of proposed cut and fill location and heights of proposed retaining walls.

1.5 SUBMISSIONS

All applications for Developer’s Approval must be lodged via the Design Approval Portal at www.ngdd.com.au:



Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

1.6 RE-SUBMISSIONS

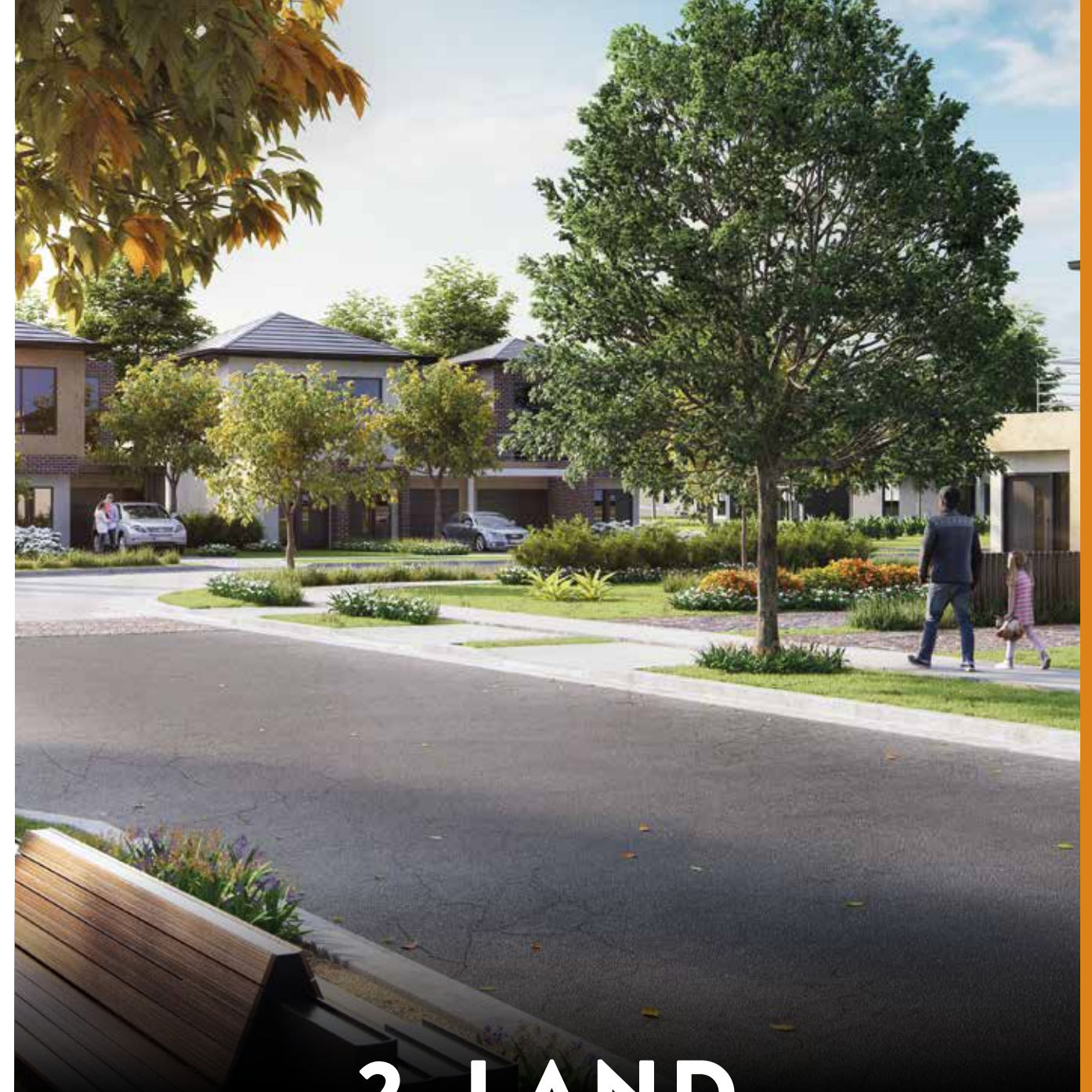
Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

Application for design approval is included in the sale price of the land. Additional applications after an approval has been granted will incur a fee.

1.7 DEFINITIONS

For the purposes of these guidelines:

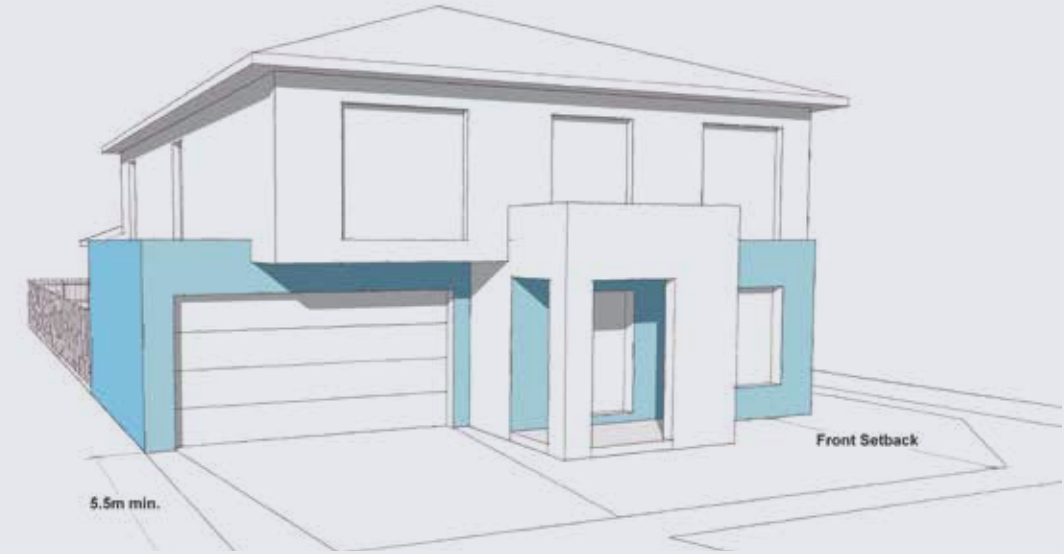
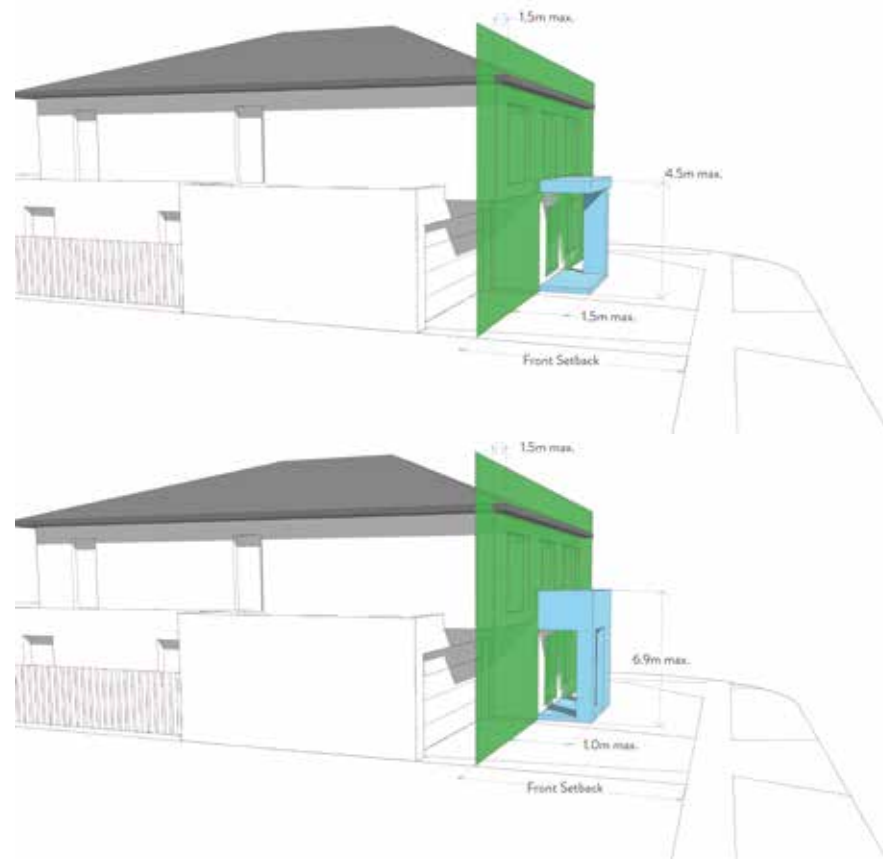
1. Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
2. Building Envelope Plan means the Building Envelope detailed on the Plan of Subdivision for a particular lot.
3. A corner lot is any lot that has more than one boundary that abuts the public realm.
4. On corner lots, the primary street frontage is the shorter of the two, unless noted otherwise in the building envelope plan.
5. A habitable room is a living room or a bedroom.
6. Natural Ground Level means the finished surface level of the ground after engineering works associated with the subdivision have been completed.



2. LAND

2.1 LOT LAYOUT

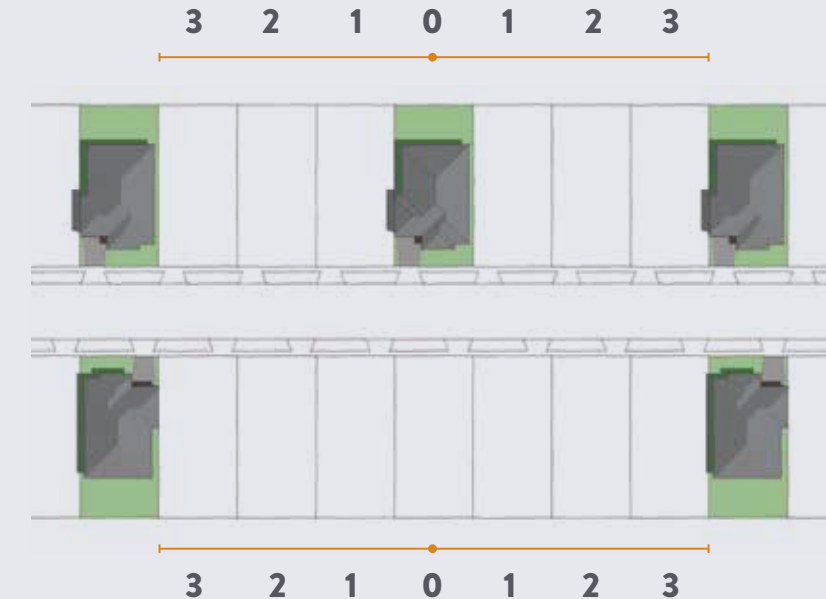
1. Only one dwelling may be built per lot, unless noted otherwise on the Building Envelope Plan.
2. Each dwelling, including the garage, must comply with the setbacks described by the building envelope for the lot.
3. In addition to the overall dwelling setbacks, the garage on a front lot must be set back 5.5m from the front boundary, unless the building envelope for the lot:
 - allows a setback of 3m, whereby the garage must be set back at least 5m; or
 - identifies the lot as having an alternative garage setback whereby the garage must not be setback between 3 and 5m from the primary frontage
4. Porticos, porches, pergolas and verandahs up to 4.5m in height may encroach up to 1.5m into the front setback, and 1m into a secondary Public Realm setback.
5. Balconies and architectural features up to 6.9m in height may encroach up to 1m into the front setback.
6. Eaves, gutters and fascias may encroach up to 1.5m into the front setback, 1m into a secondary public realm setback and 500mm into any other side or rear setback.



2.2 BUILT FORM VARIETY

To help promote a sense of identity for each home, each dwelling must be noticeably and obviously different from the other dwellings within 3 lots. This includes lots on the other side of a street or road.

If, in the opinion of the HDRP, two dwellings are too similar, the earlier of the two applications will take precedence.



3. ARCHITECTURE

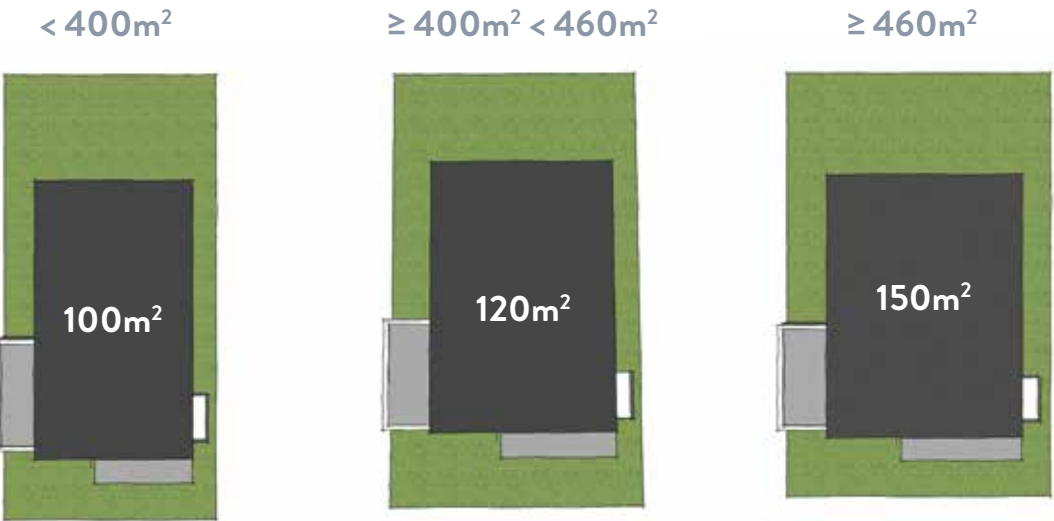


3.1 SIZE

There is a minimum size for each dwelling at Hartleigh. The dwelling size, measured at the external face of the external walls, and excluding garages and all unenclosed areas such as porticos, porches, verandahs, balconies, alfresco areas and the like, must be as follows:

LAND SIZE	DWELLING SIZE (LIVING AREA)
Less than 400m ²	100m ²
Greater than 400m ² and less than 460m ²	120m ²
Greater than 460m ²	150m ²

MINIMUM FLOOR AREAS REQUIRED:



3.2 FORM

- 1. Each dwelling must have an entrance feature that visually complements the architectural character of the dwelling and serves to make the location of the front door obvious from the primary frontage of the lot. Typical entry features include porticos, porches and verandahs.
- 2. Entry features must be designed as a separate element in the façade, independent from the main roof form.
- 3. The entry feature must have a minimum area of 3m² and cannot sit in under the main roof line of the dwelling.
- 4. Two storey dwellings must have a transition between the ground floor and the first floor.
- 5. Every dwelling must have at least one habitable room window that addresses the primary street frontage.

EXAMPLE OF ACCEPTABLE ENTRANCE DESIGN:



3.3 ROOFS

- 1. Pitched roofs are preferred, but flat and skillion roofs will be considered if they complement the architectural style of the dwelling.
- 2. Pitched roofs must incorporate eaves with a minimum depth of 450mm to each side of the dwelling that faces the public realm.
- 3. Corner lots will therefore have eaves along at least two sides.
- 4. Eaves must return for a minimum of 1.5 metres along the side wall of a dwelling that is on a lot with only one frontage, and along the back of a dwelling on a corner lot.
- 5. Roof cladding must complement the architectural style of the house.
- 6. Roof cladding must not be:
 - Unfinished
 - Reflective
 - Galvanised
 - Zinc
 - Fibre cement
 - Tray deck sheeting
- 7. Flat roofs must be screened by a parapet.
- 8. Parapets on the front façade must be returned for a minimum of 1.5 m along the side wall.

EXAMPLE OF APPROVED ROOFS:



3.4 GARAGE

1. All lots must provide an enclosed garage for at least one vehicle.
2. A double garage must be provided if the lot has a frontage of 12.5m or more.
3. Unenclosed carports are not permitted.
4. On front loaded lots, the garage must be set back a minimum of 840mm behind the front façade of the dwelling.
This distance is not to be measured from protruding porches, porticos, balconies, etc.
5. Garage openings facing the public realm must be:
 - No wider than a maximum of 40% of the lot width of the dwelling.
 - No more than 30% of the area of the front façade of the dwelling, measured from a 2-D elevation, excluding the roof of the dwelling, if the lot size is between 250m² - 300m² and the dwelling is more than one storey.
6. The garage must match or complement the dwelling in terms of external appearance (colour, materials, form etc).
7. Roller doors must not be used where they are visible from the public realm.
8. On rear loaded lots, the garage must be located to the rear of the lot.



3.5 CORNER LOT

Corner lots are in an important position in the context of both the streets that they are on, and the neighbourhood that they are in.

The dwellings on corner lots must therefore address each of the frontages that abut the public realm.

An appropriate way of doing this is to use the same or similar elements / features on each side of the dwelling that faces the public realm.

1. As a minimum, you must include 3 of the following elements from the primary frontage on the secondary frontage:
 - Windows with matching head heights
 - Materials that “turn the corner” to meet the return fence
 - Wall articulation such as protruding piers or recessed steps in the façade
 - Roof features such as gables etc.
 - Pergolas, porches, balconies etc.
2. The elements used must be located forward of the return fence.
 - Blank walls are not permitted forward of the return fence on a corner lot
3. Lightweight infill panel(s) must not be used above any wall openings if they are readily visible from the public realm.



3.6 EXTERNAL MATERIALS AND FINISHES

- 1. Face brickwork must not account for any more than 60% of the area of the front façade, not including any openings such as windows or doors.
- 2. At least 2 different materials or colours must be used in the walls that address the public realm.
Approved materials or finishes include:
 - *Render*
 - *Masonry blocks*
 - *Weatherboard*
 - *Timber cladding*
 - *Other materials at the discretion of the HDRP*
- 3. Whilst there are no mandatory colour requirements for the dwellings at Hartleigh, proposed colours must be approved by the HDRP. Printed colour samples or colour photos of the exterior materials and finishes must be included in the application for the Developer’s Design Approval. It is strongly encouraged that all external building materials are in natural muted colours.
- 4. Reflective glazing or glazing with applied film is not permitted.

EXAMPLES OF PREFERRED EXTERNAL NATURAL MUTED COLOURS:



EXAMPLES OF APPROVED EXTERNAL DESIGNS AND MATERIALS:



EXAMPLE OF NON PREFERRED EXTERNAL DESIGN:



3.7 DRESS CIRCLE PRECINCT DESIGN GUIDELINES

Additional requirements apply to the lots in the Dress Circle. The Dress Circle design requirements are supplementary to and take precedence over, the Hartleigh Design Guidelines.

These requirements apply to the following lots:



3.7.1 BUILT FORM VARIETY

- 1. Proposed façade must be noticeably different from the neighbouring dwellings within 3 lots on either side of your home as well as on the opposite side of the street. Noticeably different means that there must be a variation of at least 2 design elements excluding materials and colour finishes. Design elements include entry feature, windows, roof, massing etc.

3.7.2 FORM

- 1. All dwellings in this precinct must be double storey.

3.7.3 ROOFS

- 1. The main roof form must be a pitched roof. The approval of parapets to the lower level will be considered if they do not detract from the hipped main roof form.

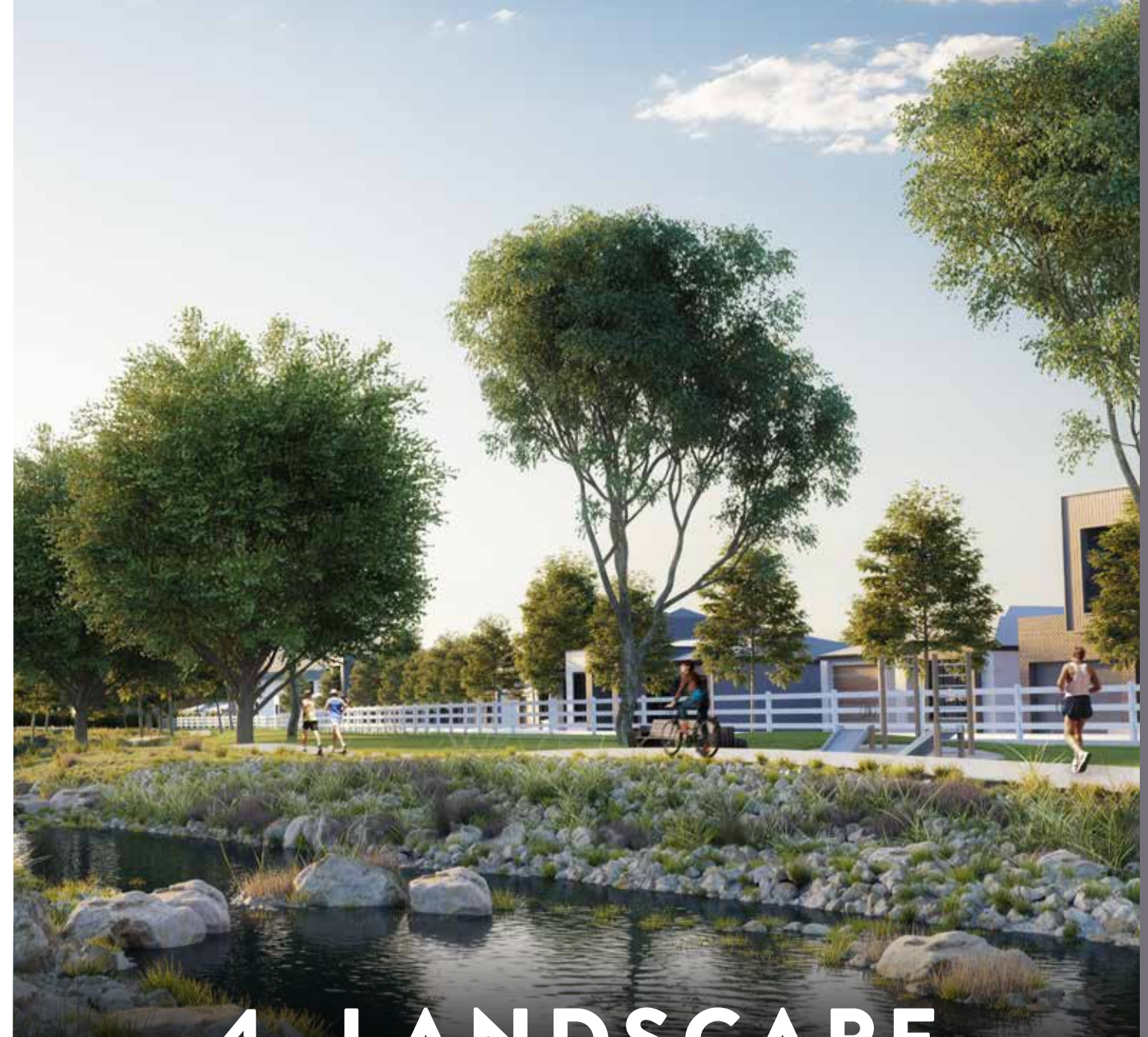
2. Roof pitch must be at least 25 degrees for hip and gable roofs.
3. Upper storey roofs must have a minimum of 450mm deep eave all round.
4. Lower storey roofs must have a minimum of 450mm deep eave with a side return of at least 3m (except where it is constructed on a boundary or where a relevant building regulation applies).
5. Parapets that are visible from the public realm at the edge of a façade must also be returned along the side elevation for at least 3m, unless otherwise approved by the DAP.

3.7.4 GARAGE

1. Garage door must be of a timber or “timber look” finish with a clear or timber stain finish.

3.7.5 EXTERNAL MATERIALS AND FINISHES

1. Face brick must not account for more than 20% of the front façade wall or secondary façade wall forward of the side street fencing.
2. Materials on the front façade must return 3m on the side elevation for a minimum of 3m.



4. LANDSCAPE

4.1 FRONT GARDEN

Together with the dwelling itself, the front yard of each lot is a major component of the visual realm of Hartleigh. While each resident has direct control over their individual front yard, every resident experiences all the front yards by simply being in the street. A well designed, constructed and maintained front yard will therefore enhance everyone's experience and enjoyment.

In order to help achieve this, and to assist you with the design of your front yard, we have developed five different design options for you to choose from. Each one aims to create a leafy character and well-planted front yard for all residents to enjoy in the future. Details of each of the designs are included in this document.



DESIGN OPTIONS:

The front yard designs have been prepared to suit an average lot layout and can be adapted to suit your lot orientation, size, topography and house plan.

The designs incorporate a range of styles with plants to suit both the local conditions of the site and complement the streetscape. Certain designs may be better suited to your house layout and style. You can ask your preferred landscape professional for further advice about which to choose.

PROCESS:

You may choose one of the garden designs or alternatively, you can submit a similar plan to the HDRP in accordance with the design principles outlined below. The plan must be prepared by a suitably qualified landscape professional.

Upon completion of the landscape installation, you can apply to the HDRP for a \$2,000 rebate as a contribution towards the cost of your front yard. Your garden will need to comply with the design options or landscape design principles as outlined below in order to be eligible for this rebate.

The landscape must, however, be installed within 90 days of the issued Certificate of Occupancy, unless this is during the summer period, in which case the garden must be installed by the 30th April.

DESIGN PRINCIPLES FOR CONSIDERATION:

1. Your front garden should include a minimum of one canopy tree – installed in a 45Lt pot/2.0m high.
2. Vegetation selection must include drought tolerant, adaptable plant species suited to the local conditions of Clyde as suggested in the plant theme/palettes provided.
3. A minimum of 50% of the front garden must include permeable surfaces, including but not limited to grass, gravel and mulch.
4. Landscaping elements must be used to soften, or screen the appearance of storage, services and parking areas.
5. Landscape elements and planting must be in proportion to the availability of space provided and be well planted so as to enable full coverage of the garden bed, when established.
6. Landscaping features must maintain a degree of passive surveillance of entry points to dwellings.
7. Landscape elements must not interfere with utility services.
8. Selection of appropriate plant species and heights of landscape elements should not impact on adjacent properties through overshadowing or intrusive root systems.
9. A minimum 500mm wide planting strip is to be provided between the driveway and the side boundary (or 300mm if the garage is located on the side boundary).

4.2 LANDSCAPE GUIDELINES

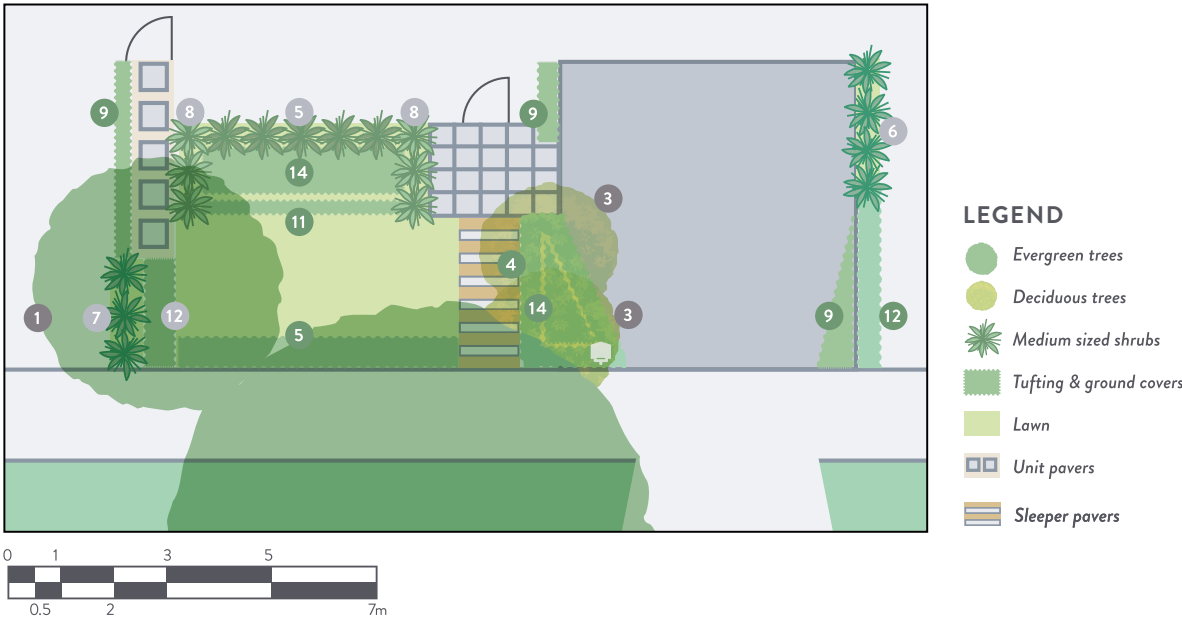
Option One – Design Intent:

A formal garden with a symmetrical and structured design through its layout and plant selection.

The design features a low hedge along the frontage and sides to border your home with luscious greenery. Canopy trees are placed to frame your property and create a sense of entry and address to your home.

Planting is carefully selected to consist of greens with close consideration to its plant forms and foliage textures.

FORMAL GARDEN:



INDICATIVE PLANT IMAGES:



PYR cal



TRI lau



WAT flo



TRA jas

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7–12 x 5–8
2. WAT flo	Waterhousia Floribunda	Weeping Lilly Pilly (Hedged)	5 x 1.5
Deciduous Trees			
3. PYR cal	Pyrus Calleryana	Callery Pear	9–12 x 3–6
Shrubs			
4. BUX sem	Buxus Sempervirens	English Box (Clipped)	0.3 x 0.3
5. GAR aug	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
6. JUN vir	Juniperus Virginiana ‘Spartan’	Spartan Conifer	4 x 1
7. MUR pan	Murraya Paniculata	Orange Jessamine (Clipped)	3 x 2
8. SYZ aus	Syzygium Australe ‘Bush Christmas’	Dwarf Lilly Pilly	1.5 x 0.5
Tufting & Ground Covers			
9. DIA cae	Dianella Caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
10. DIE gra	Dietes Grandiflora	Wild Iris	1 x 1
11. LIR mus	Liriope Muscari	Lily Turf	0.5 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7–1 x 1
Climbers			
13. FIC pum	Ficus Pumila ‘Minima’	Creeping Fig	-
14. TRA jas	Trachelospermum Jasminoides	Chinese Star Jasmine	-

* Trees to be installed at minimum 45Llt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



BUX sem



GAR aug



LIR mus



DIE gra



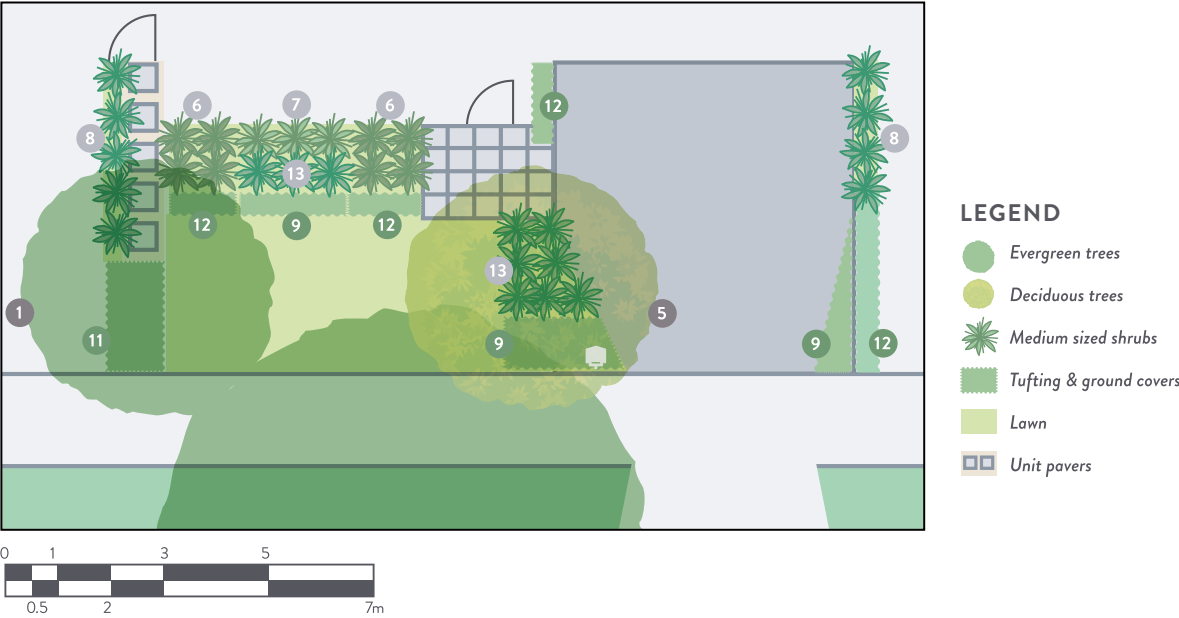
DIA cae

Option Two – Design Intent:

This traditional garden features the classic Aussie lawn frontage. Canopy trees are well-placed to allow a framed view from your living space as well as providing privacy from the street.

Planting is carefully selected to consist of floral spacing and well considered traditional based planting.

TRADITIONAL GARDEN:



INDICATIVE PLANT IMAGES:



ACE bue



TRI lau



MAG sou



ROS jus

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7–12 x 5–8
2. EUC man	Eucalyptus mannifera ‘Little Spotty’	Red Spotted Gum	8 x 6
Deciduous Trees			
3. LAG nat	Lagerstroemia indica ‘Natchez’	Natchez Crepe Myrtle	8 x 6
4. MAG sou	Magnolia x soulangeana	Tulip Magnolia	6 x 5
5. ACE bue	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
Shrubs			
6. CHO ter	Choisya ternata	Mexican Orange Blossom	1.2 x 1.2
7. CRO exa	Crowea exalata	Waxflower	0.7 x 1.0
8. HEB alb	Hebe ‘Wiri Mist’	Wiri Mist Hebe	1.5 x 0.80
Tufting & Ground Covers			
9. CER tom	Cerastium tomentosum	Snow in Summer	0.2 x 2
10. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
11. DIE gra	Dietes grandiflora	Wild Iris	1 x 1
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7–1 x 1
13. ROS jus	Rosa ‘Just Joey’	Hybrid Tea Rose	0.75 x 1.0
Climbers			
14. ROS ban	Rosa banksiae ‘lutescens’	Banksia Rose	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



HEB alb



CHO ter



CRO exa



CER tom



LOM lon

Option Three – Design Intent:

This design features paths with stone pavers which complement the bush organic garden setting.

The design features large arcs which define the layout. The planting design consists of multiple trees which complement the organic setting whilst offering privacy from the street.

This design consists of classic native plants and shrubbery.

NATIVE GARDEN:



INDICATIVE PLANT IMAGES:



EUC pau



ALL lit



COR ref



GRE moo

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. ACA mel	Acacia melanoxylon	Blackwood	12 x 7
2. ALL lit	Allocasuarina littoralis	Black She-Oak	5 x 3
3. EUC pau	Eucalyptus pauciflora ‘Little Snowman’	Snow Gum	7 x 4
Deciduous Trees			
4. MEL aze	Melia azedarach ‘Elite’	White Cedar	10 x 6
Shrubs			
5. BAN spi	Banksia spinosa	Hairpin Banksia	3 x 3
6. COR ref	Correa reflexa	Common Correa	3 x 2
7. GRE moo	Grevillia ‘Moonlight’	Grevillea	4 x 3
8. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
Tufting & Ground Covers			
9. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
10. DIA rev	Dianella revoluta	Spreading Flax Lily	0.5 x 0.5
11. EPA imp	Epacris impressa	Common Heath	0.7 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7-1 x 1
13. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
14. POA mor	Poa morrisii	Velvet Tussock Grass	0.5 x 0.5
15. TET cil	Tetratheca ciliata	Pink Bells	0.4 x 0.4
Climbers			
16. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



WES gem



BRA mul



PAT occ



POA mor



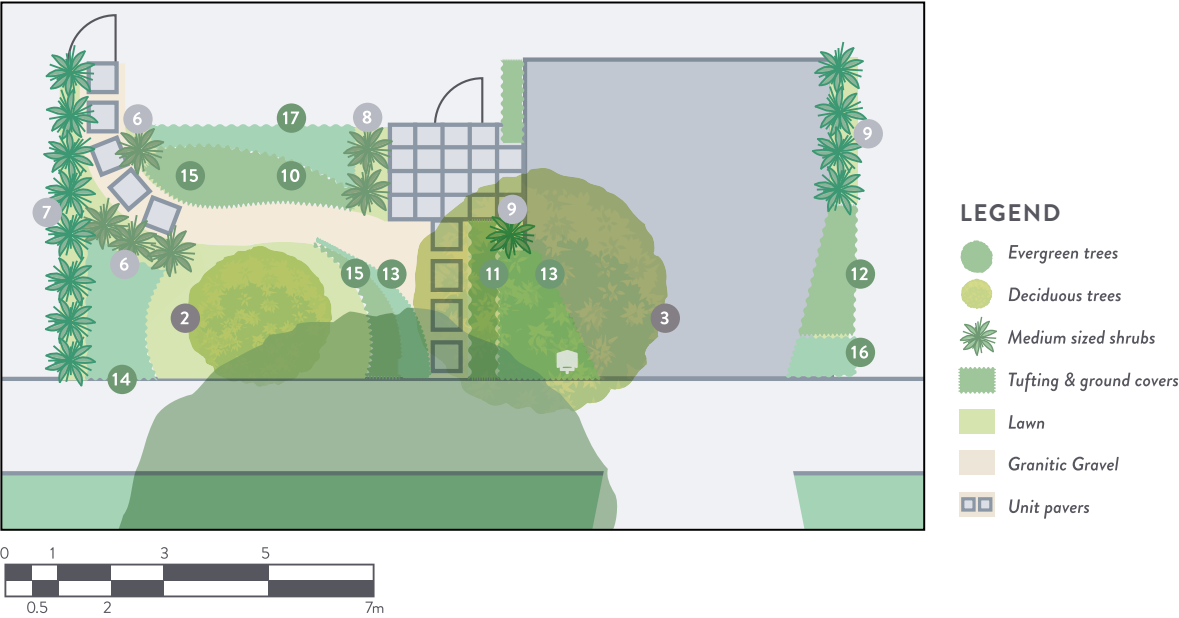
TET cil

Option Four – Design Intent:

Cottage garden with a native planting twist.
This design features a path which gently winds its width across the garden.

The design is a combination of organic and traditional, allowing plants to cascade over the path and weave through each other creating the cottage charm. The planting consists of dense planting and a mixture of ornamental floristic and textured plants.

COTTAGE GARDEN:



INDICATIVE PLANT IMAGES:



COR fic



GLE tri



LAG yum



EUP cha

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. COR fic	Corymbia ficifolia ‘Fairy Floss’	Flowering Gum	6 x 4
Deciduous Trees			
2. GLE tri	Gleditsia triacanthos var. ‘Elegantissima’	Compact Honey Locust	5 x 3
3. LAG yum	Lagerstroemia indica ‘x Yuma’	Natchez Crepe Myrtle	4 x 3
4. TIL cor	Tilia cordata ‘PNI 6025’ - Greenspire	Greenspire Lime	9 x 6
5. ULM par	Ulmus parvifolia	Chinese Elm	8 x 8
Shrubs			
6. EUP cha	Euphorbia characias ‘Wulfenii’	Milkweed Spurge	1 x 1
7. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
8. ROS off	Rosmarinus officinalis	Rosemary	1 x 1.5
9. HEB ins	Hebe ‘Inspiration’	Hebe	1 x 1
Tufting & Ground Covers			
10. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
11. DAM div	Dampiera diversifolia	Dampiera	Pros x 0.3
12. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
13. IRI ger	Iris Germanica	German Iris	0.5 x 0.3
14. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
15. SCA mau	Scaevola ‘Mauve Clusters’	Fairy Fan Flower	0.3 x 0.5
16. STA byz	Stachys byzantina	Lamb’s Ears	0.3 x 0.3
17. TET Fai	Tetratheca ‘Fairy Bells’	Fairy Bells	0.4 x 0.4
Climbers			
18. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



ROS off



DIA cae



IRI ger



SCA mau



STA byz

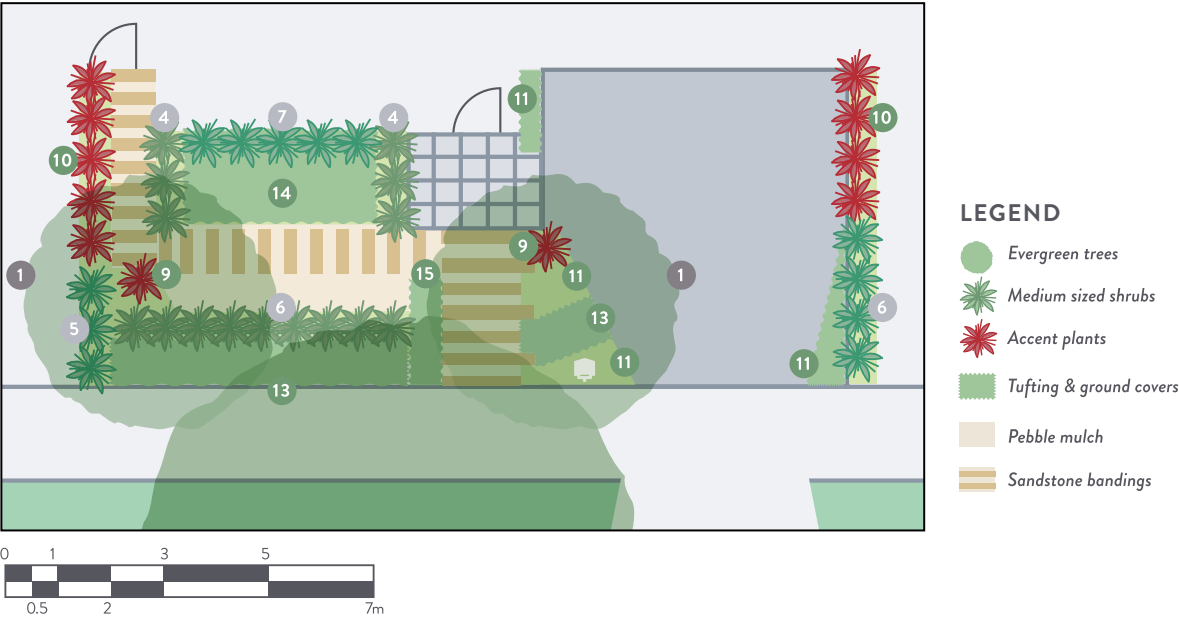
Option Five – Design Intent:

Contemporary garden with a dash of the bush, low maintenance and modern shapes.

The modern garden design draws upon simplicity and low maintenance, with a sense of sophistication.

The interface with the street consists of accent plants providing contrast and colour.

CONTEMPORARY GARDEN:



INDICATIVE PLANT IMAGES:



AGO fle



EUC man



ACA cog



LEU lau

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
Evergreen Trees			
1. AGO fle	Agonis flexuosa 'Burgundy'	Willow Myrtle	5 x 3
2. EUC man	Eucalyptus mannifera 'Little Spotty'	Red Spotted Gum	8 x 6
Deciduous Trees			
3. ACE bu	Acer buergerianum	Trident Maple	6 x 6
Shrubs			
4. ACA cog	Acacia cognata 'Limelight Wattle'	Limelight Wattle	1 x 1
5. DOD vis	Dodonaea viscosa 'Purpurea'	Purple Sticky Hop Bush	3 x 2
6. LEU lau	Leucadendron laeolium x salignum	Inca Gold	1 x 1
7. EUP cha	Euphorbia characias 'Wulfenii'	Milkweed Spurge	1 x 1
8. WES gem	Westringia 'Wynabbie Gem'	Wynabbie Gem Westringia	1.5 x 1.5
Tufting & Ground Covers			
9. AGA att	Agave attenuata	Agave	0.7 x 0.5
10. COR red	Cordyline 'Red Fountain'	Red Fountain Cordyline	1 x 1
11. DIA cae	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3–0.5 x 0.3
12. LEU bro	Leucophyta brownii	Cushion Bush	1 x 1
13. LOM lon	Lomandra longifolia 'Tanika'	Spiny-headed Mat-rush	0.7–1 x 1
14. MYO par	Myoporum parvifolium	Creeping Boobialla	prostrate x 2
15. PHO pur	Phormium 'Bronze Baby'	Dwarf New Zealand Flax	0.7 x 0.7

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



AGA att



COR red



LEU bro



MYO par

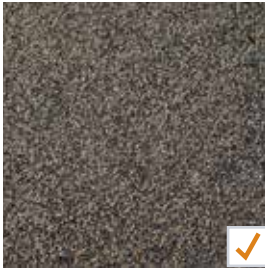


PHO pur

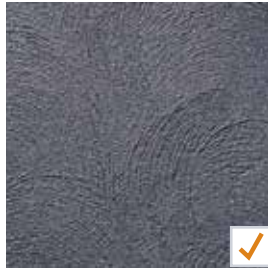
4.3 DRIVEWAYS

1. Only one crossover is permitted per frontage.
2. The driveway must form an impervious surface. Allowable finishes for driveways include:
 - *Exposed aggregate concrete*
 - *Coloured-through concrete; and pavers*
3. Natural (plain) coloured concrete and colour-on concrete driveways are not permitted.
4. The driveway must be offset from the side boundary by at least 400mm to allow for a planting strip between the boundary and the driveway.
5. The driveway must not be wider than the width of the crossover at the boundary and should be no wider than the garage door where it meets the dwelling.

**EXPOSED
AGGREGATE**



**COLOURED-
THROUGH**



PAVERS



**STENCILLED
CONCRETE**



4.4 LETTERBOXES

1. Letterboxes supported on a single post are not permitted.
2. Letterboxes should match or complement the appearance of the dwelling.



4.5 RETAINING WALLS

1. Where required, retaining walls must not exceed 1.0 metre in height above natural ground level.
2. Retaining walls are to be constructed of either:
 - *A proprietary masonry block system*
 - *Timber sleeper / steel post construction*
3. In the case of timber sleeper / steel post retaining walls:
 - Timber sleepers must be:
 - *At least 50x200mm*
 - *No more than 2.4m long*
 - Steel posts must be:
 - *Either 100UC (Universal Channel) or 100PFC (Parallel Flange Channel) for wall ends*
 - *Steel posts must be galvanised*
 - *Retaining walls must be capped with 50x200mm sleepers to conceal post tops*
4. Provision should be made for adequate drainage behind retaining walls, and connection to on-site stormwater drains.
5. Provision should also be made for garden bed planting (minimum 300mm width) in front of retaining walls.

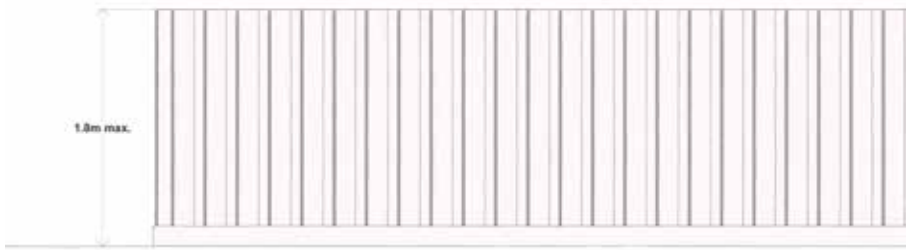
EXAMPLE OF APPROVED RETAINING WALL



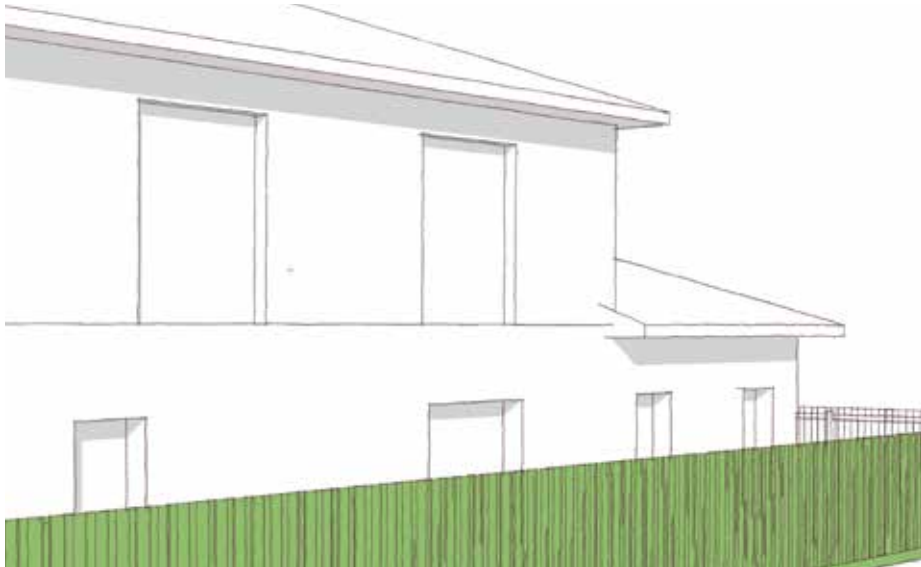
4.6 FENCING

SIDE AND REAR FENCING (Fencing between lots):

- 1. Side and rear fencing must be:
 - Constructed of timber posts and rails and lapped timber palings
 - A maximum of 1.8 metres in height, above natural ground level
- 2. Side fencing must be:
 - Set back at least 1.0 metre behind the dwelling frontage alignment
 - Returned to meet the side of the dwelling (return fence)

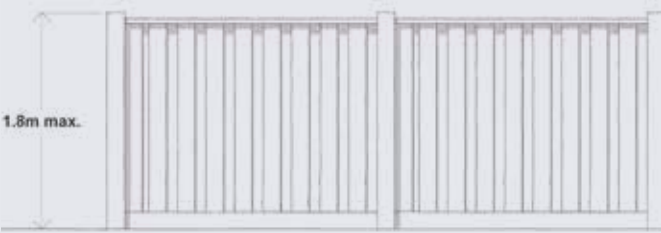


- 3. A gate is allowable in the return fencing provided that it is constructed of the same material as the side fencing.



CORNER FENCING
(FENCING TO A PUBLIC REALM BOUNDARY OTHER THAN THE FRONTAGE):

- 4. Developer will provide corner fencing.
- 5. Corner fencing must be:
 - Constructed of exposed timber posts and rails, lapped timber palings and timber capping
 - A maximum of 1.8 metres in height, above natural ground level
 - Set back at least 3.0 metres behind the dwelling frontage alignment
 - Returned to meet the side of the dwelling (return fence)



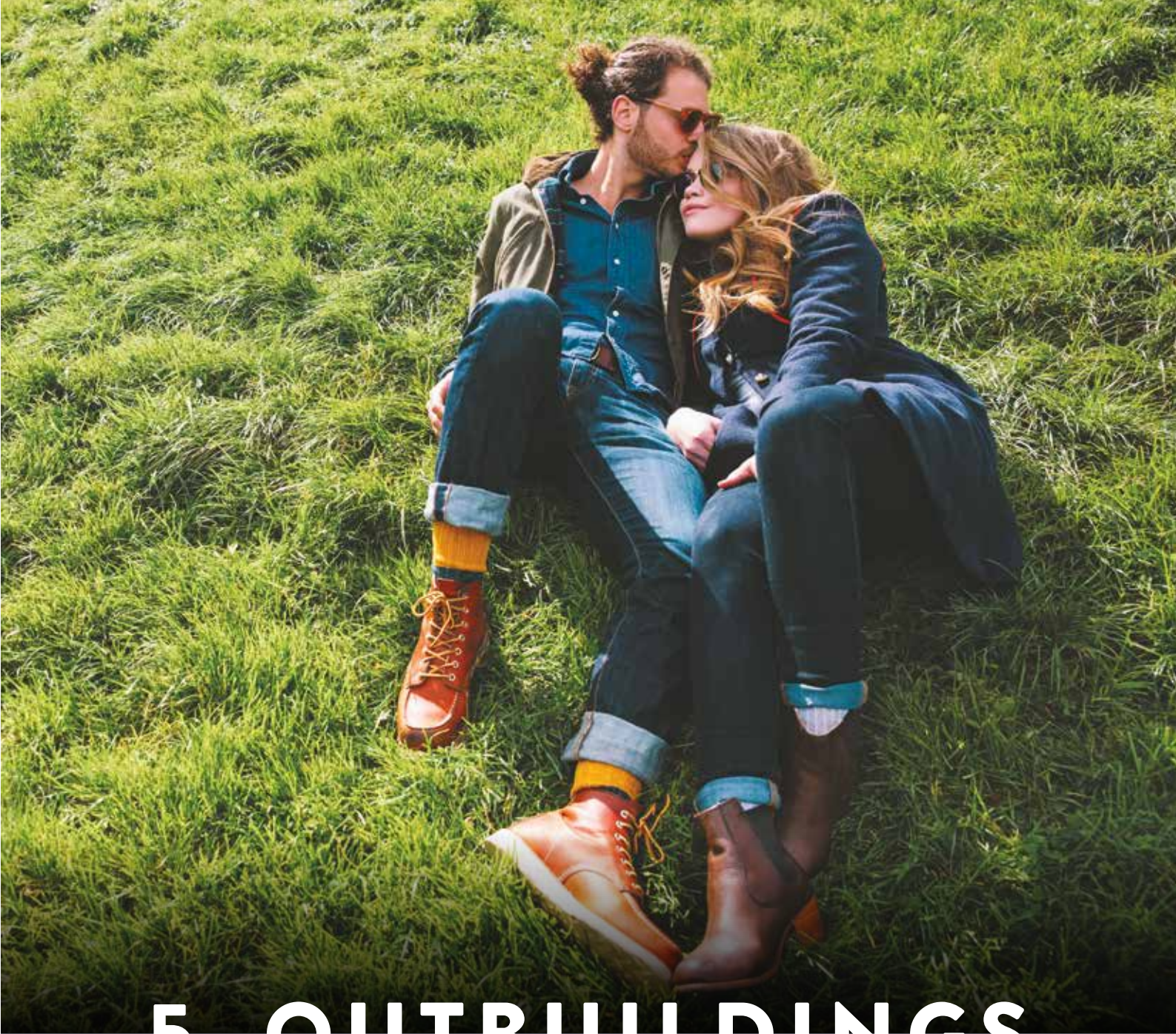
EXAMPLE OF APPROVED FENCING FOR CORNER LOT:



FRONT FENCING:

- 6. A gate is allowable in the return fencing provided that it is constructed of the same material as the corner fencing.
 - 7. Owner to match any access fencing / gate to corner fence provided by developer.
 - 8. Where provided, front fencing must be:
 - No more than 1.2 metre in height above natural ground level
 - Complementary to the style and materials of the dwelling
- Constructed of one of the following:**
- Rendered masonry
 - Face brick
 - Stone-faced masonry
 - Timber pickets/battens on a timber or powder coated steel frame
 - Powder coated/anodised metal fencing comprising horizontal top and bottom rails and vertical pickets/rods and posts
 - Continued at the same height along the side boundary to meet the return fence or garage on the boundary
- 9. On corner lots, the front fence must continue along the spay and secondary boundary to meet the return fence.
 - 10. Gates (where provided) must be of a style and material which is complementary to the style and material of the fencing.
 - 11. Wing fencing is only to be provided for dwellings where front fencing is provided.
 - 12. Wing fencing must be:
 - Constructed of the same material as the remainder of side fencing
 - Of a height to match the height of front fencing

WING FENCING (FENCING BETWEEN THE RETURN FENCE AND THE FRONT FENCE):



5. OUTBUILDINGS

5.1 SHEDS AND OUTBUILDINGS

1. If less than 10m² in area, sheds and outbuildings must not be readily visible from the public realm.
2. If more than 10m² in area, sheds and outbuildings must match or complement the appearance of the dwelling in form and colour.

SCREENING:

3. Ancillary structures and elements must be located so that they are not readily visible from the public realm.
This include items such as:
 - *Rubbish bin storage areas*
 - *Washing lines*
 - *Hot water systems*
 - *Any water storage tanks*
 - *Swimming pools*
 - *Spa equipment*
 - *External plumbing other than that for rain water*
 - *Satellite dishes and TV aerials*
4. Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.

5.2 SERVICE EQUIPMENT

Heating and cooling units must be:

- *Located towards the rear of the dwelling*
- *If roof mounted, positioned below the ridge line*
- *If roof mounted, coloured to match the roof as far as practical*
- *Noise attenuated*

5.3 RECYCLED WATER

The provision of recycled water will eventually be available to all residents of Hartleigh. This will provide recycled water for gardens, washing cars and other non-potable purposes. All dwellings must therefore incorporate plumbing to use this recycled water supply.

It is strongly recommended that owners allow for all toilets and 3 taps (located in the front garden, rear garden and in the laundry) to be connected to any future recycled water system.

If you do not make these allowances before you start construction, it is likely that you may face extra costs if you choose to take advantage of this service after your home has been completed.

5.4 BROADBAND

High speed internet services will be available at Hartleigh. In order to take advantage of these services, it is highly encouraged that your home is appropriately prepared.

Again, it is important that you consider the advantages and costs early in the decision making process and discuss it with your builder. Failure to prepare will most likely lead to additional costs if a decision to connect is made after the home is complete.

For details on how to prepare your home, please see your builder or refer to the website www.nbnco.com.au

5.5 SIGNAGE

1. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer.
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses must not exceed 200mm.

5.6 TIMING OF WORKS

1. Building works must commence within 12 months of settlement and must be completed within 12 months of work commencing.
2. Landscaping of the front yard, including the nature strip, must be completed within 3 months of the Certificate of Occupancy being issued.
3. Boundary fencing must be completed prior to the dwelling being occupied.
4. The garage must be constructed at the same time as the dwelling.
5. Driveways must be completed within 30 days of the Certificate of Occupancy being issued.

5.7 MAINTENANCE AND PROTECTION

1. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow growth of grass or weeds upon the lots in excess of 300mm high.
2. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.
3. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
4. It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.





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PROUDLY DEVELOPED BY





HARTLEIGH
DESIGN
GUIDELINES.
THE GALLERY PRECINCT

1. INTRODUCTION

1.1	Hartleigh Vision	3
1.2	Design Guidelines	3
1.3	Approval Process	4
1.4	Submission Requirements	5
1.5	Submissions	5
1.6	Re-Submissions	6
1.7	Definitions	6

2. LAND

2.1	Lot Layout	8
2.2	Built Form Variety	9

3. ARCHITECTURE

3.1	Size	11
3.2	Form	12
3.3	Roofs	13
3.4	Garage	14
3.5	Corner Lot	15
3.6	External Materials and Finishes	16
3.7	Gallery Precinct Design Guidelines	16
3.7.1	Built Form Variety	16
3.7.2	Form	16
3.7.4	Garage	16
3.7.5	External Materials and Finishes	16

4. LANDSCAPE

4.1	Front Garden	20
4.2	Landscape Guidelines	22
4.3	Driveways	32
4.4	Letterboxes	33
4.5	Retaining Walls	33
4.6	Fencing	34

5. OUTBUILDINGS

5.1	Sheds and Outbuildings	38
5.2	Service Equipment	38
5.3	Recycled Water	38
5.4	Broadband	39
5.5	Signage	39
5.6	Timing of Works	39
5.7	Maintenance and Protection	39







1. INTRODUCTION



1.1 HARTLEIGH VISION

Ideally situated on the rolling green hills of Clyde, this new boutique community offers families the rare opportunity to become a part of the future town centre. Close to existing amenity in the blossoming south-east, Hartleigh offers a great lifestyle opportunity now, with the promise of becoming something truly special over time.

Hartleigh delivers connectivity and quality without compromise. It has been skilfully master planned to become a place that residents will be proud to call home and where families can grow and evolve along with this burgeoning region of Melbourne. It will be a vibrant community that is destined to become the new heart of Clyde.

1.2 DESIGN GUIDELINES

The intent of these Design Guidelines is to help create an appealing living environment. They allow for the establishment of individualised houses that will sit comfortably next to each other in the street bringing about attractive, liveable neighbourhoods and a diverse, interesting community. This, in turn, also provides a measure of investment protection for the owners and community members.

The Design Guidelines describe important principles and parameters that must be considered in conjunction with the Building Envelope details and any other restrictions for each lot.

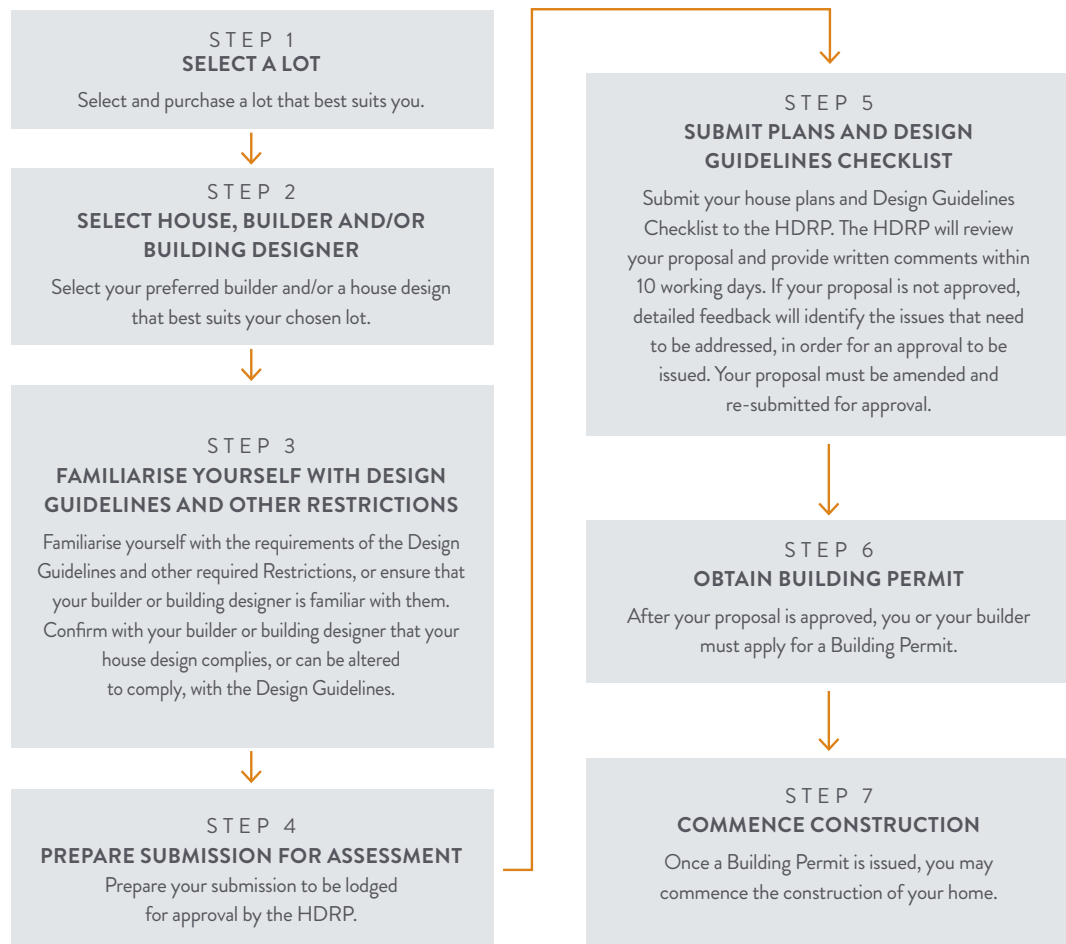
These requirements are in addition to, and not in lieu of, any State or local government planning or building approval requirements. It is the responsibility of the property owner (or their nominated agent) to check the current planning and building requirements relevant to the property being built on, to ensure the proposed design meets all legislative requirements.

1.3 APPROVAL PROCESS

Before a Building Permit is issued, or construction works started, the design and siting of a proposed dwelling must be approved by the Hartleigh Design Review Panel (HDRP). The HDRP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

In the interests of better achieving the diversity and visual interest that will promote more desirable neighbourhoods, the HDRP, at its absolute discretion, may approve a proposal that meets the objectives of these Design Guidelines without strictly complying with the wording herein. No claims shall be made to the developer or their representatives with respect to the decisions made or approvals given.

The diagram below shows the steps involved in obtaining the Developer's Approval to build your new home. Please read it carefully so you are familiar with the process you will need to follow.



1.4 SUBMISSION REQUIREMENTS

All submitted documents must be in PDF file format:

1. Site plan at 1:100, with dimensions and showing:
 - Lot boundaries and any easement(s) on title
 - Proposed building footprint and all proposed setbacks
 - Contours (at 0.5m interval or less) or spot levels
 - On-site car parking and driveways
 - Other external structures (including pools and spas)
2. All floor plans, roof plans and elevations at 1:100, with dimensions and showing:
 - Internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
 - Proposed floor levels to AHD
3. Materials: Finishes and colour samples
 - Provide a PDF file with samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections
4. Landscape plan at 1:100, with dimensions and showing:
 - Indicative extent of all hardscape and softscape
 - Planting schedule that lists all proposed species referenced on landscape plan
5. For lots with greater than 1.5m land fall, please include the following, at 1:100:
 - At least one sectional drawing that explains the extent of proposed cut and fill location and heights of proposed retaining walls.

1.5 SUBMISSIONS

All applications for Developer's Approval must be lodged via the Design Approval Portal at www.ngdd.com.au:

The screenshot shows the ngd design Design Approval Portal. On the left, there is a welcome message and a 'REGISTER' button. On the right, there is a login form with fields for 'USERNAME' and 'PASSWORD', a 'LOGIN' button, and a link for 'Forgot your login details?'. The ngd design logo is at the top left.

ngd design

Welcome to our Design Approval Portal.

This is where you can apply for a Design Approval for your new home.

As well as being a handy source of information, this portal will help Owners, Designers, Builders and Developers to lodge and track the progress of an application from the initial lodgement through to approval.

Please note that incomplete submissions take longer to approve. We recommend that you check that your submission includes all the required information before making your application.

[Terms & Conditions](#)

[REGISTER](#) >

ENTER YOUR LOGIN DETAILS

USERNAME

PASSWORD

[Forgot your login details?](#)

LOGIN

Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

1.6 RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

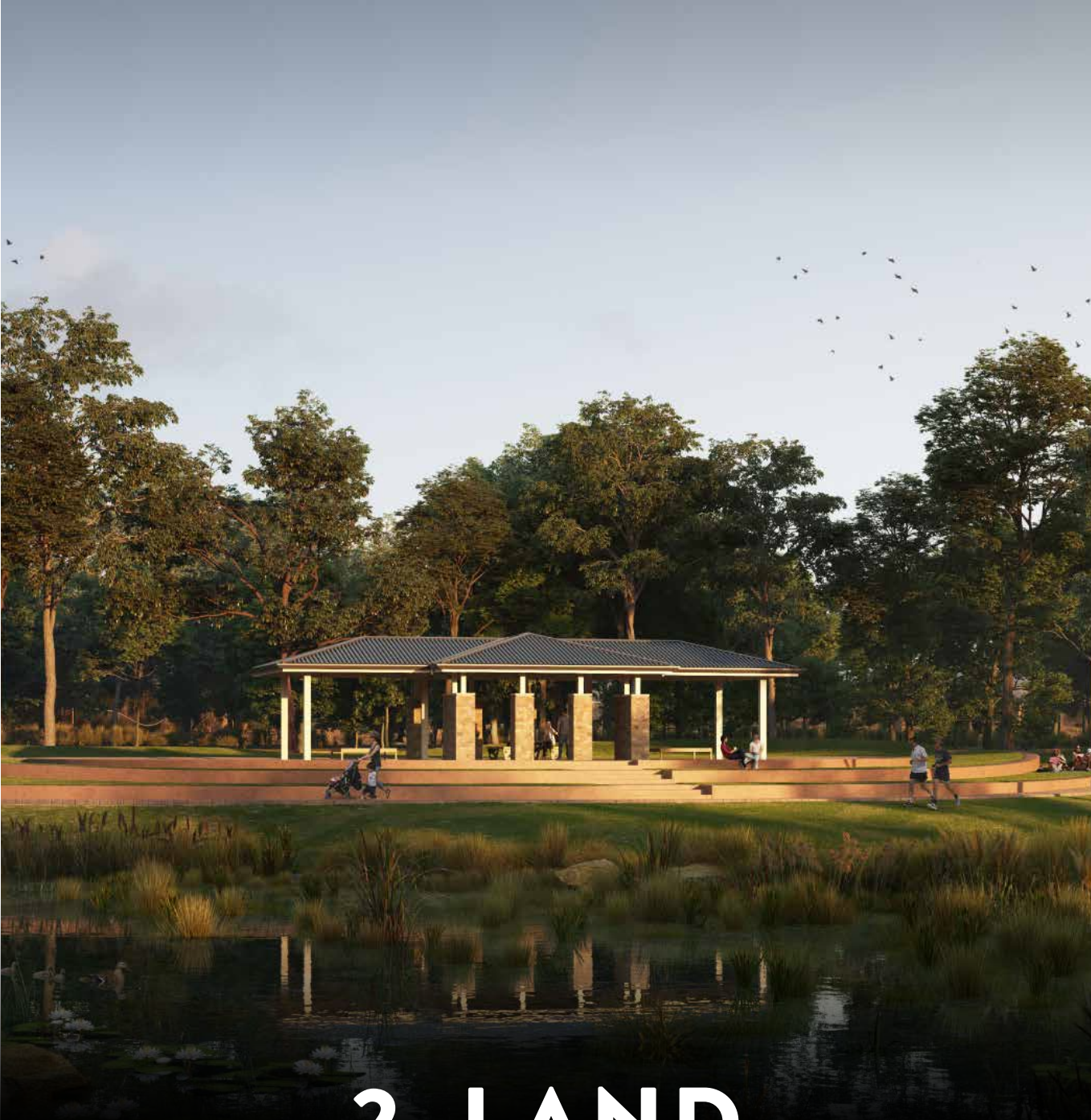
Application for design approval is included in the sale price of the land. Additional applications after an approval has been granted will incur a fee.

1.7 DEFINITIONS

For the purposes of these guidelines:

1. Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
2. Building Envelope Plan means the Building Envelope detailed on the Plan of Subdivision for a particular lot.
3. A corner lot is any lot that has more than one boundary that abuts the public realm.
4. On corner lots, the primary street frontage is the shorter of the two, unless noted otherwise in the building envelope plan.
5. A habitable room is a living room or a bedroom.
6. Natural Ground Level means the finished surface level of the ground after engineering works associated with the subdivision have been completed.

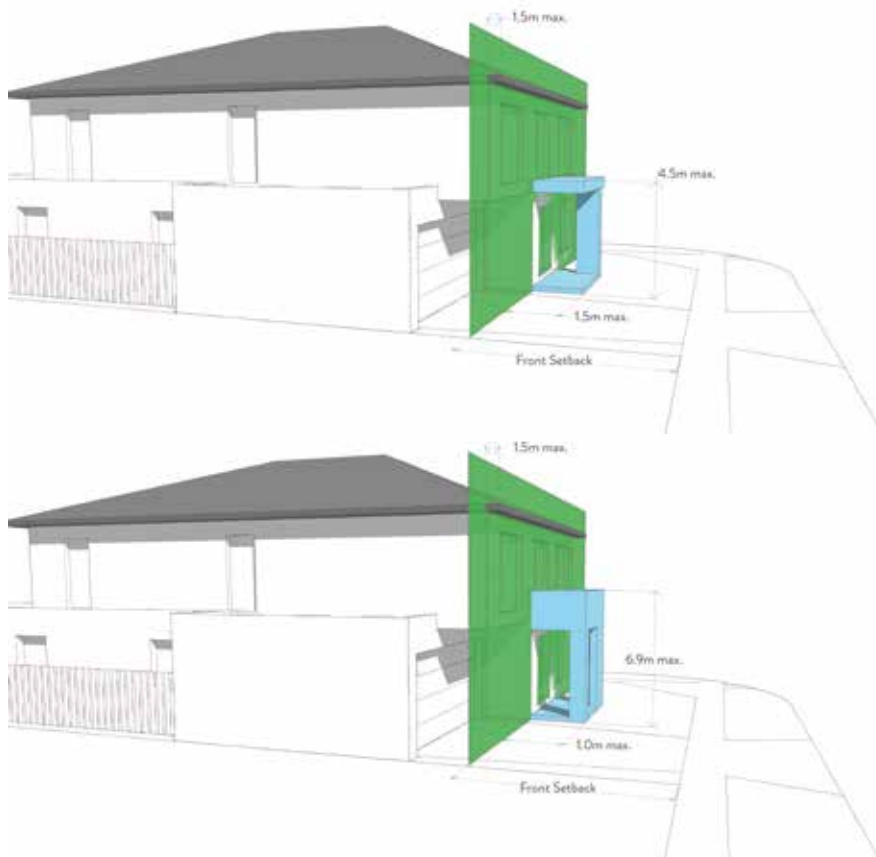


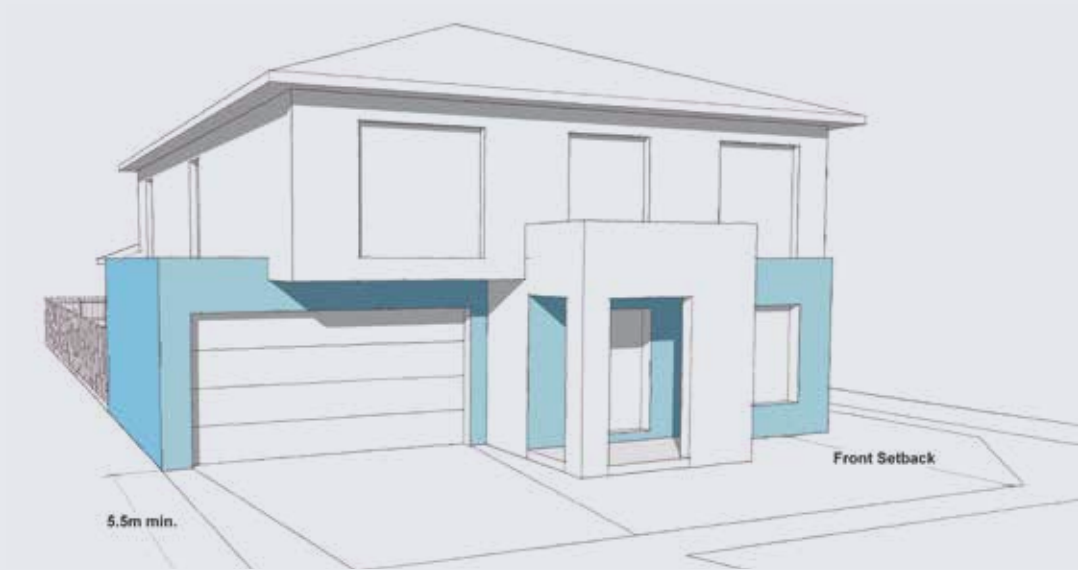


2. LAND

2.1 LOT LAYOUT

1. Only one dwelling may be built per lot, unless noted otherwise on the Building Envelope Plan.
2. Each dwelling, including the garage, must comply with the setbacks described by the building envelope for the lot.
3. In addition to the overall dwelling setbacks, the garage on a front lot must be set back 5.5m from the front boundary, unless the building envelope for the lot:
 - allows a setback of 3m, whereby the garage must be set back at least 5m; or
 - identifies the lot as having an alternative garage setback whereby the garage must not be setback between 3 and 5m from the primary frontage
4. Porticos, porches, pergolas and verandahs up to 4.5m in height may encroach up to 1.5m into the front setback, and 1m into a secondary Public Realm setback.
5. Balconies and architectural features up to 6.9m in height may encroach up to 1m into the front setback.
6. Eaves, gutters and fascias may encroach up to 1.5m into the front setback, 1m into a secondary public realm setback and 500mm into any other side or rear setback.

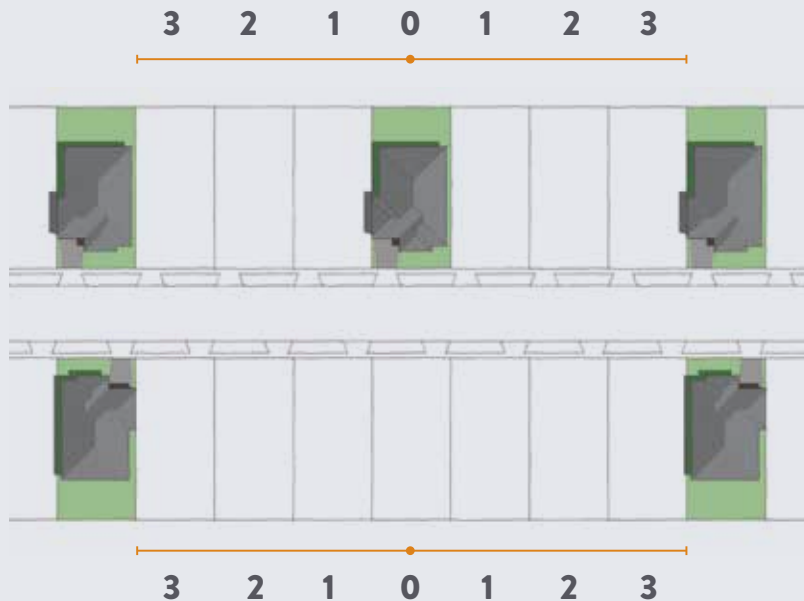




2.2 BUILT FORM VARIETY

To help promote a sense of identity for each home, each dwelling must be noticeably and obviously different from the other dwellings within 3 lots. This includes lots on the other side of a street or road.

If, in the opinion of the HDRP, two dwellings are too similar, the earlier of the two applications will take precedence.





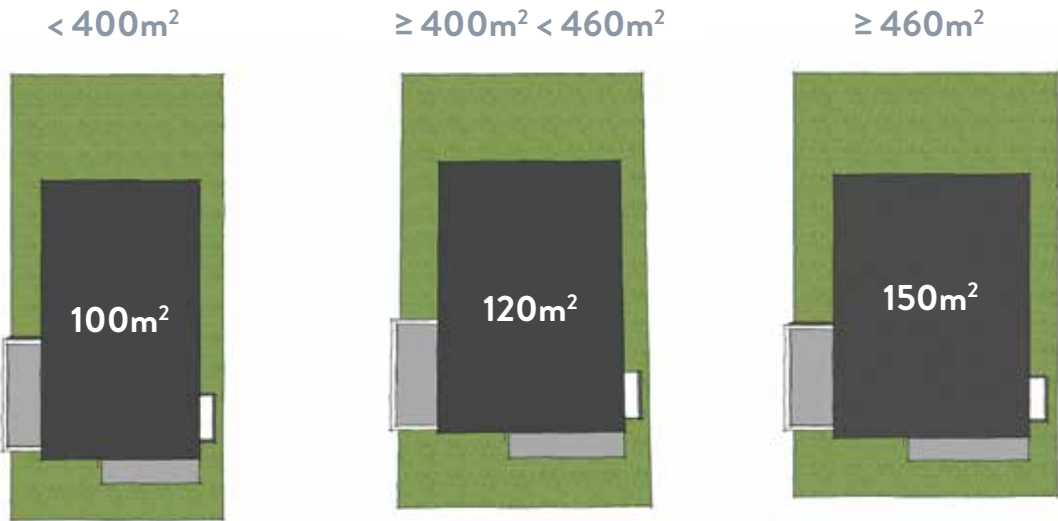
3. ARCHITECTURE

3.1 SIZE

There is a minimum size for each dwelling at Hartleigh. The dwelling size, measured at the external face of the external walls, and excluding garages and all unenclosed areas such as porticos, porches, verandahs, balconies, alfresco areas and the like, must be as follows:

LAND SIZE	DWELLING SIZE (LIVING AREA)
Less than 400m ²	100m ²
Greater than 400m ² and less than 460m ²	120m ²
Greater than 460m ²	150m ²

MINIMUM FLOOR AREAS REQUIRED:



3.2 FORM

1. Each dwelling must have an entrance feature that visually complements the architectural character of the dwelling and serves to make the location of the front door obvious from the primary frontage of the lot. Typical entry features include porticos, porches and verandahs.
2. Entry features must be designed as a separate element in the façade, independent from the main roof form.
3. The entry feature must have a minimum area of 3m² and cannot sit in under the main roof line of the dwelling.
4. Two storey dwellings must have a transition between the ground floor and the first floor.
5. Every dwelling must have at least one habitable room window that addresses the primary street frontage.

EXAMPLE OF ACCEPTABLE ENTRANCE DESIGN:



3.3 ROOFS

1. Pitched roofs are preferred, but flat and skillion roofs will be considered if they complement the architectural style of the dwelling.
2. Pitched roofs must incorporate eaves with a minimum depth of 450mm to each side of the dwelling that faces the public realm.
3. Corner lots will therefore have eaves along at least two sides.
4. Eaves must return for a minimum of 1.5 metres along the side wall of a dwelling that is on a lot with only one frontage, and along the back of a dwelling on a corner lot.
5. Roof cladding must complement the architectural style of the house.
6. Roof cladding must not be:
 - *Unfinished*
 - *Reflective*
 - *Galvanised*
 - *Zinc*
 - *Fibre cement*
 - *Tray deck sheeting*
7. Flat roofs must be screened by a parapet.
8. Parapets on the front façade must be returned for a minimum of 1.5 m along the side wall.

EXAMPLE OF APPROVED ROOFS:



3.4 GARAGE

1. All lots must provide an enclosed garage for at least one vehicle.
2. A double garage must be provided if the lot has a frontage of 12.5m or more.
3. Unenclosed carports are not permitted.
4. On front loaded lots, the garage must be set back a minimum of 840mm behind the front façade of the dwelling.
This distance is not to be measured from protruding porches, porticos, balconies, etc.
5. Garage openings facing the public realm must be:
 - No wider than a maximum of 40% of the lot width of the dwelling.
 - No more than 30% of the area of the front façade of the dwelling, measured from a 2-D elevation, excluding the roof of the dwelling, if the lot size is between 250m² - 300m² and the dwelling is more than one storey.
6. The garage must match or complement the dwelling in terms of external appearance (colour, materials, form etc).
7. Roller doors must not be used where they are visible from the public realm.
8. On rear loaded lots, the garage must be located to the rear of the lot.



3.5 CORNER LOT

Corner lots are in an important position in the context of both the streets that they are on, and the neighbourhood that they are in.

The dwellings on corner lots must therefore address each of the frontages that abut the public realm.

An appropriate way of doing this is to use the same or similar elements / features on each side of the dwelling that faces the public realm.

1. As a minimum, you must include 3 of the following elements from the primary frontage on the secondary frontage:
 - *Windows with matching head heights*
 - *Materials that “turn the corner” to meet the return fence*
 - *Wall articulation such as protruding piers or recessed steps in the façade*
 - *Roof features such as gables etc.*
 - *Pergolas, porches, balconies etc.*
2. The elements used must be located forward of the return fence.
 - *Blank walls are not permitted forward of the return fence on a corner lot*
3. Lightweight infill panel(s) must not be used above any wall openings if they are readily visible from the public realm.



3.6 EXTERNAL MATERIALS AND FINISHES

1. Face brickwork must not account for any more than 60% of the area of the front façade, not including any openings such as windows or doors.
2. At least 2 different materials or colours must be used in the walls that address the public realm.
Approved materials or finishes include:
 - *Render*
 - *Masonry blocks*
 - *Weatherboard*
 - *Timber cladding*
 - *Other materials at the discretion of the HDRP*
3. Whilst there are no mandatory colour requirements for the dwellings at Hartleigh, proposed colours must be approved by the HDRP. Printed colour samples or colour photos of the exterior materials and finishes must be included in the application for the Developer's Design Approval. It is strongly encouraged that all external building materials are in natural muted colours.
4. Reflective glazing or glazing with applied film is not permitted.

EXAMPLES OF PREFERRED EXTERNAL NATURAL MUTED COLOURS:



EXAMPLES OF APPROVED EXTERNAL DESIGNS AND MATERIALS:



EXAMPLE OF NON PREFERRED EXTERNAL DESIGN:



3.7 THE GALLERY DESIGN GUIDELINES

Additional requirements apply to the lots in Stage 13. The Stage 13 requirements are supplementary to and take precedence over, the Hartleigh Design Guidelines.

These requirements apply to the following lots:



3.7.1 BUILT FORM VARIETY

1. Proposed façade must be noticeably different from the neighbouring dwellings within 3 lots on either side of your home as well as on the opposite side of the street. Noticeably different means that there must be a variation of at least 2 design elements excluding materials and colour finishes. Design elements include entry feature, windows, roof, massing etc.

3.7.2 FORM

1. All dwellings in this precinct must be double storey.

3.7.3 ROOFS

1. The main roof form must be a pitched roof. The approval of parapets to the lower level will be considered if they do not detract from the hipped main roof form.

2. Upper storey roofs must have a minimum of 450mm deep eave all round.
3. Lower storey roofs must have a minimum of 450mm deep eave with a side return of at least 3m (except where it is constructed on a boundary or where a relevant building regulation applies).
4. Parapets that are visible from the public realm at the edge of a façade must also be returned along the side elevation for at least 3m, unless otherwise approved by the DAP.

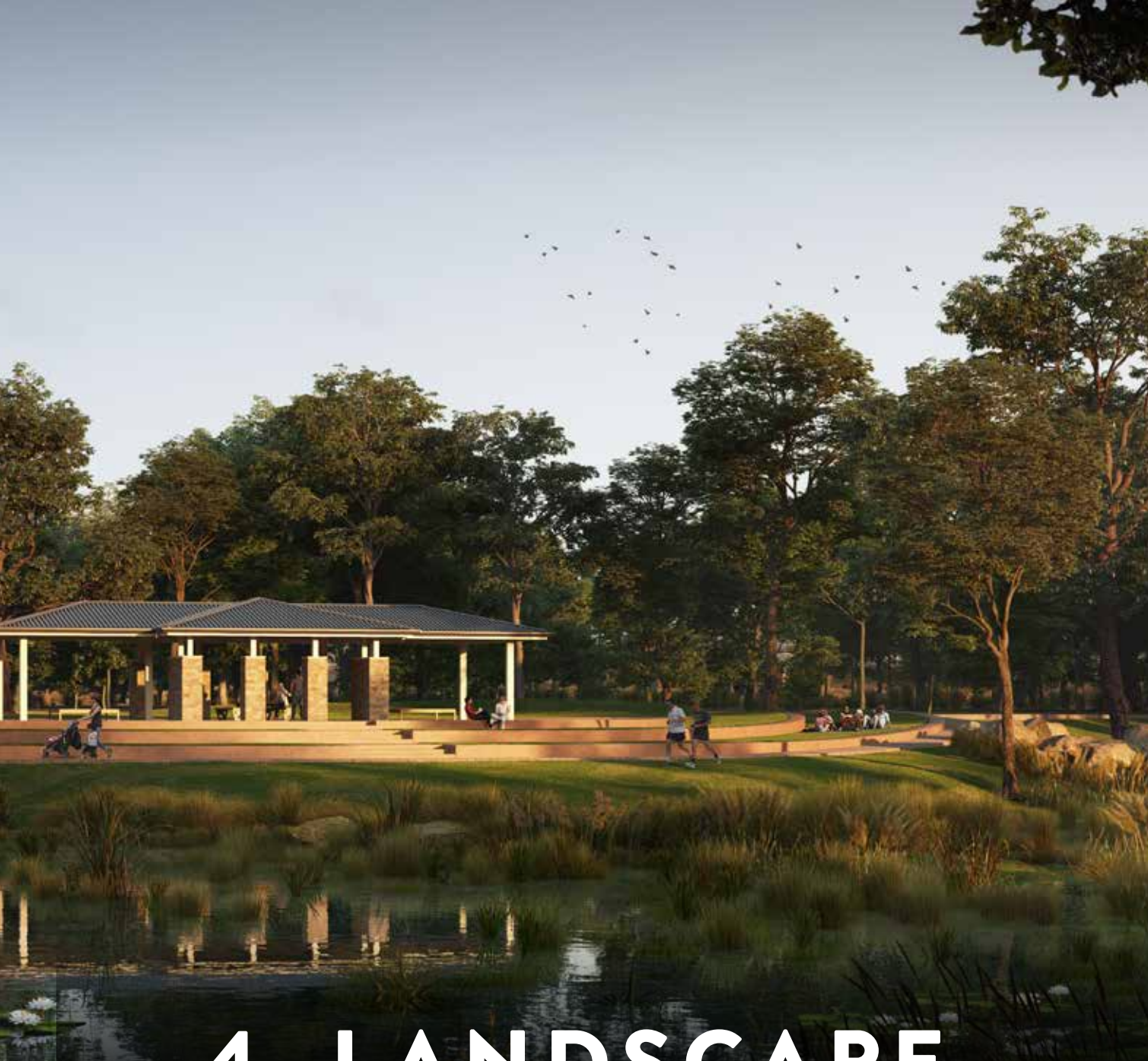
3.7.4 GARAGE

1. Garage door must be of a timber or “timber look” finish with a clear or timber stain finish.

3.7.5 EXTERNAL MATERIALS AND FINISHES

1. Face brick must not account for more than 20% of the front façade wall or secondary façade wall forward of the side street fencing.
2. Materials on the front façade must return 3m on the side elevation for a minimum of 3m.





4. LANDSCAPE

4.1 FRONT GARDEN

Together with the dwelling itself, the front yard of each lot is a major component of the visual realm of Hartleigh. While each resident has direct control over their individual front yard, every resident experiences all the front yards by simply being in the street. A well designed, constructed and maintained front yard will therefore enhance everyone's experience and enjoyment.

In order to help achieve this, and to assist you with the design of your front yard, we have developed five different design options for you to choose from. Each one aims to create a leafy character and well-planted front yard for all residents to enjoy in the future. Details of each of the designs are included in this document.



DESIGN OPTIONS:

The front yard designs have been prepared to suit an average lot layout and can be adapted to suit your lot orientation, size, topography and house plan.

The designs incorporate a range of styles with plants to suit both the local conditions of the site and complement the streetscape. Certain designs may be better suited to your house layout and style. You can ask your preferred landscape professional for further advice about which to choose.

PROCESS:

You may choose one of the garden designs or alternatively, you can submit a similar plan to the HDRP in accordance with the design principles outlined below. The plan must be prepared by a suitably qualified landscape professional.

Upon completion of the landscape installation, you can apply to the HDRP for a \$2,000 rebate as a contribution towards the cost of your front yard. Your garden will need to comply with the design options or landscape design principles as outlined below in order to be eligible for this rebate.

The landscape must, however, be installed within 90 days of the issued Certificate of Occupancy, unless this is during the summer period, in which case the garden must be installed by the 30th April.

DESIGN PRINCIPLES FOR CONSIDERATION:

1. Your front garden should include a minimum of one canopy tree – installed in a 45Lt pot/2.0m high.
2. Vegetation selection must include drought tolerant, adaptable plant species suited to the local conditions of Clyde as suggested in the plant theme/palettes provided.
3. A minimum of 50% of the front garden must include permeable surfaces, including but not limited to grass, gravel and mulch.
4. Landscaping elements must be used to soften, or screen the appearance of storage, services and parking areas.
5. Landscape elements and planting must be in proportion to the availability of space provided and be well planted so as to enable full coverage of the garden bed, when established.
6. Landscaping features must maintain a degree of passive surveillance of entry points to dwellings.
7. Landscape elements must not interfere with utility services.
8. Selection of appropriate plant species and heights of landscape elements should not impact on adjacent properties through overshadowing or intrusive root systems.
9. A minimum 500mm wide planting strip is to be provided between the driveway and the side boundary (or 300mm if the garage is located on the side boundary).

4.2 LANDSCAPE GUIDELINES

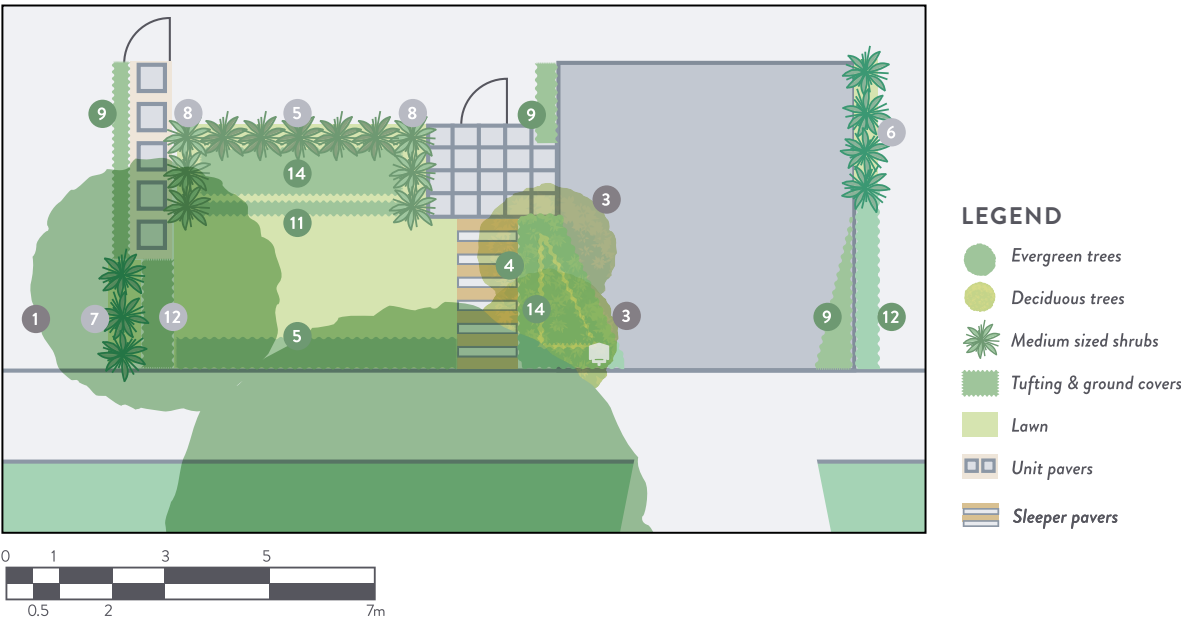
Option One – Design Intent:

A formal garden with a symmetrical and structured design through its layout and plant selection.

The design features a low hedge along the frontage and sides to border your home with luscious greenery. Canopy trees are placed to frame your property and create a sense of entry and address to your home.

Planting is carefully selected to consist of greens with close consideration to its plant forms and foliage textures.

FORMAL GARDEN:



INDICATIVE PLANT IMAGES:



PYR cal



TRI lau



WAT flo



TRA jas

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
<i>Evergreen Trees</i>			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7-12 x 5-8
2. WAT flo	Waterhousia Floribunda	Weeping Lilly Pilly (Hedged)	5 x 1.5
<i>Deciduous Trees</i>			
3. PYR cal	Pyrus Calleryana	Callery Pear	9-12 x 3-6
<i>Shrubs</i>			
4. BUX sem	Buxus Sempervirens	English Box (Clipped)	0.3 x 0.3
5. GAR aug	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
6. JUN vir	Juniperus Virginiana ‘Spartan’	Spartan Conifer	4 x 1
7. MUR pan	Murraya Paniculata	Orange Jessamine (Clipped)	3 x 2
8. SYZ aus	Syzygium Australe ‘Bush Christmas’	Dwarf Lilly Pilly	1.5 x 0.5
<i>Tufting & Ground Covers</i>			
9. DIA cae	Dianella Caerulea ‘Little Jess’	Blue Flax Lily	0.3-0.5 x 0.3
10. DIE gra	Dietes Grandiflora	Wild Iris	1 x 1
11. LIR mus	Liriope Muscari	Lily Turf	0.5 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7-1 x 1
<i>Climbers</i>			
13. FIC pum	Ficus Pumila ‘Minima’	Creeping Fig	-
14. TRA jas	Trachelospermum Jasminoides	Chinese Star Jasmine	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



BUX sem



GAR aug



LIR mus



DIE gra



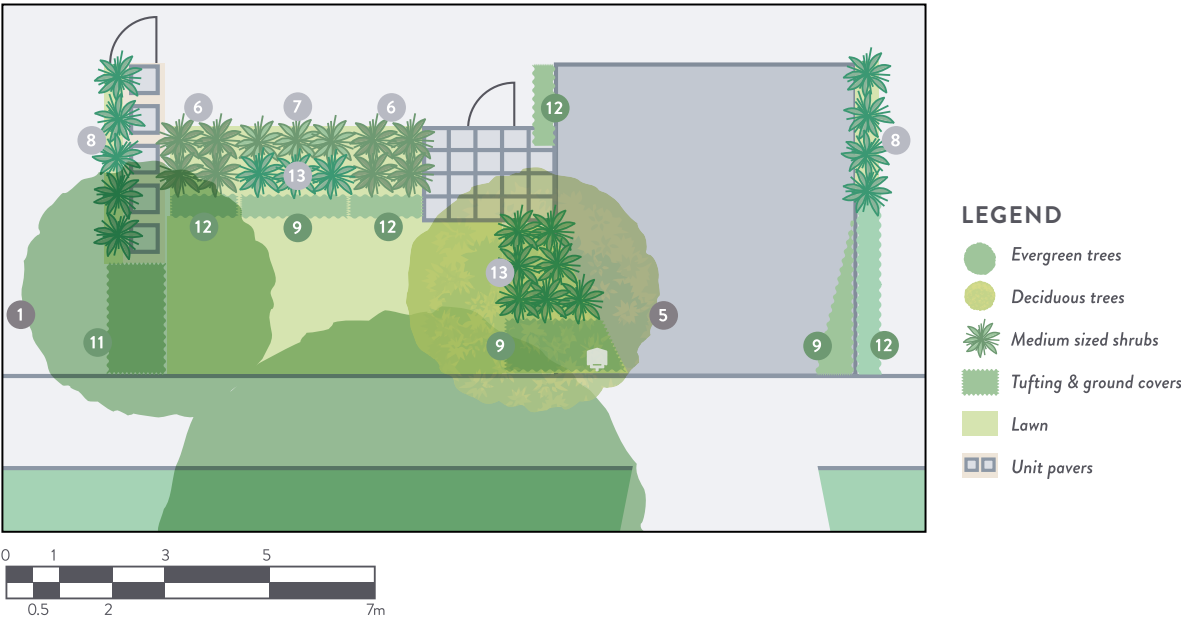
DIA cae

Option Two – Design Intent:

This traditional garden features the classic Aussie lawn frontage. Canopy trees are well-placed to allow a framed view from your living space as well as providing privacy from the street.

Planting is carefully selected to consist of floral spacing and well considered traditional based planting.

TRADITIONAL GARDEN:



INDICATIVE PLANT IMAGES:



ACE bue



TRI lau



MAG sou



ROS jus

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
<i>Evergreen Trees</i>			
1. TRI lau	Tristaniopsis Laurina ‘Luscious’	Kanooka	7–12 x 5–8
2. EUC man	Eucalyptus mannifera ‘Little Spotty’	Red Spotted Gum	8 x 6
<i>Deciduous Trees</i>			
3. LAG nat	Lagerstroemia indica ‘Natchez’	Natchez Crepe Myrtle	8 x 6
4. MAG sou	Magnolia x soulangeana	Tulip Magnolia	6 x 5
5. ACE bue	Gardenia Augusta ‘Florida’	Gardenia	1 x 1
<i>Shrubs</i>			
6. CHO ter	Choisya ternata	Mexican Orange Blossom	1.2 x 1.2
7. CRO exa	Croea exalata	Waxflower	0.7 x 1.0
8. HEB alb	Hebe ‘Wiri Mist’	Wiri Mist Hebe	1.5 x 0.80
<i>Tufting & Ground Covers</i>			
9. CER tom	Cerastium tomentosum	Snow in Summer	0.2 x 2
10. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
11. DIE gra	Dietes grandiflora	Wild Iris	1 x 1
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7–1 x 1
13. ROS jus	Rosa ‘Just Joey’	Hybrid Tea Rose	0.75 x 1.0
<i>Climbers</i>			
14. ROS ban	Rosa banksiae ‘lutescens’	Banksia Rose	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



HEB alb



CHO ter



CRO exa



CER tom



LOM lon

Option Three – Design Intent:

This design features paths with stone pavers which complement the bush organic garden setting.

The design features large arcs which define the layout. The planting design consists of multiple trees which complement the organic setting whilst offering privacy from the street.

This design consists of classic native plants and shrubbery.

NATIVE GARDEN:



INDICATIVE PLANT IMAGES:



EUC pau



ALL lit



COR ref



GRE moo

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
<i>Evergreen Trees</i>			
1. ACA mel	Acacia melanoxylon	Blackwood	12 x 7
2. ALL lit	Allocasuarina littoralis	Black She-Oak	5 x 3
3. EUC pau	Eucalyptus pauciflora ‘Little Snowman’	Snow Gum	7 x 4
<i>Deciduous Trees</i>			
4. MEL aze	Melia azedarach ‘Elite’	White Cedar	10 x 6
<i>Shrubs</i>			
5. BAN spi	Banksia spinosa	Hairpin Banksia	3 x 3
6. COR ref	Correa reflexa	Common Correa	3 x 2
7. GRE moo	Grevillia ‘Moonlight’	Grevillea	4 x 3
8. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
<i>Tufting & Ground Covers</i>			
9. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
10. DIA rev	Dianella revoluta	Spreading Flax Lily	0.5 x 0.5
11. EPA imp	Epacris impressa	Common Heath	0.7 x 0.5
12. LOM lon	Lomandra Longifolia ‘Tanika’	Spiny-Headed Mat-Rush	0.7-1 x 1
13. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
14. POA mor	Poa morrisii	Velvet Tussock Grass	0.5 x 0.5
15. TET cil	Tetratheca ciliata	Pink Bells	0.4 x 0.4
<i>Climbers</i>			
16. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



WES gem



BRA mul



PAT occ



POA mor



TET cil

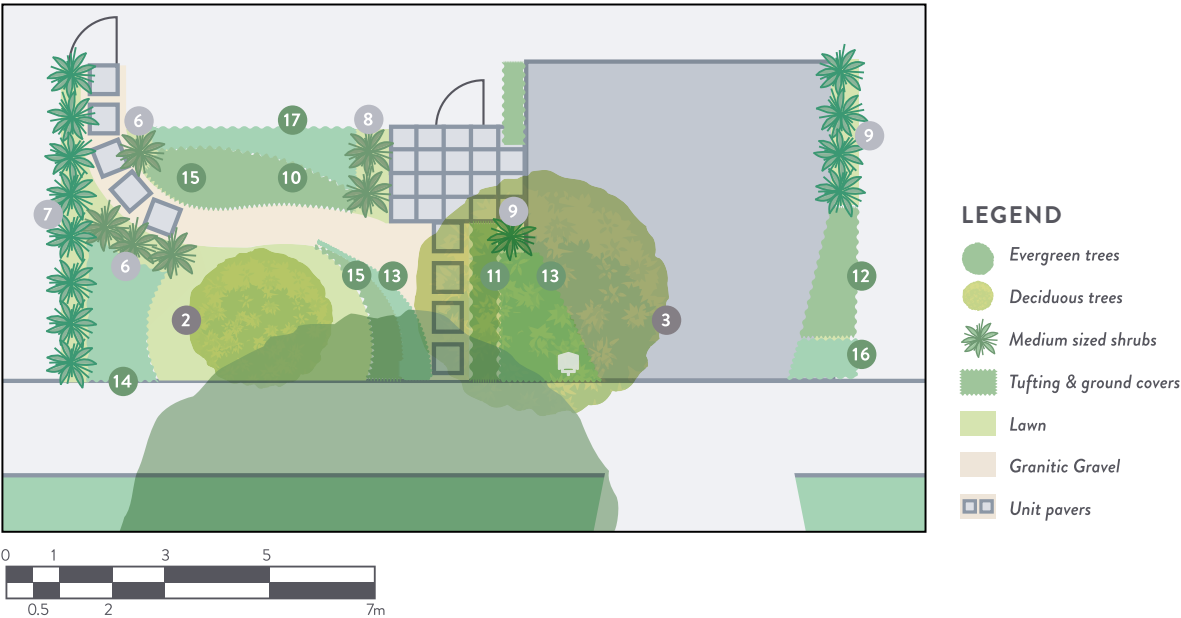
Option Four – Design Intent:

Cottage garden with a native planting twist.

This design features a path which gently winds its width across the garden.

The design is a combination of organic and traditional, allowing plants to cascade over the path and weave through each other creating the cottage charm. The planting consists of dense planting and a mixture of ornamental floristic and textured plants.

COTTAGE GARDEN:



INDICATIVE PLANT IMAGES:



COR fic



GLE tri



LAG yum



EUP cha

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
<i>Evergreen Trees</i>			
1. COR fic	Corymbia ficifolia ‘Fairy Floss’	Flowering Gum	6 x 4
<i>Deciduous Trees</i>			
2. GLE tri	Gleditsia triacanthos var. ‘Elegantissima’	Compact Honey Locust	5 x 3
3. LAG yum	Lagerstroemia indica ‘x Yuma’	Natchez Crepe Myrtle	4 x 3
4. TIL cor	Tilia cordata ‘PNI 6025’ - Greenspire	Greenspire Lime	9 x 6
5. ULM par	Ulmus parvifolia	Chinese Elm	8 x 8
<i>Shrubs</i>			
6. EUP cha	Euphorbia characias ‘Wulfenii’	Milkweed Spurge	1 x 1
7. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
8. ROS off	Rosmarinus officinalis	Rosemary	1 x 1.5
9. HEB ins	Hebe ‘Inspiration’	Hebe	1 x 1
<i>Tufting & Ground Covers</i>			
10. BRA mul	Brachysome multifolia	Cut-Leaf Daisy	0.3 x 0.5
11. DAM div	Dampiera diversifolia	Dampiera	Pros x 0.3
12. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
13. IRI ger	Iris Germanica	German Iris	0.5 x 0.3
14. PAT occ	Patersonia occidentalis	Purple Flag	0.3 x 0.3
15. SCA mau	Scaevola ‘Mauve Clusters’	Fairy Fan Flower	0.3 x 0.5
16. STA byz	Stachys byzantina	Lamb’s Ears	0.3 x 0.3
17. TET Fai	Tetratheca ‘Fairy Bells’	Fairy Bells	0.4 x 0.4
<i>Climbers</i>			
18. HAR vio	Hardenbergia violacea	Purple Coral-Pea	-

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



ROS off



DIA cae



IRI ger



SCA mau



STA byz

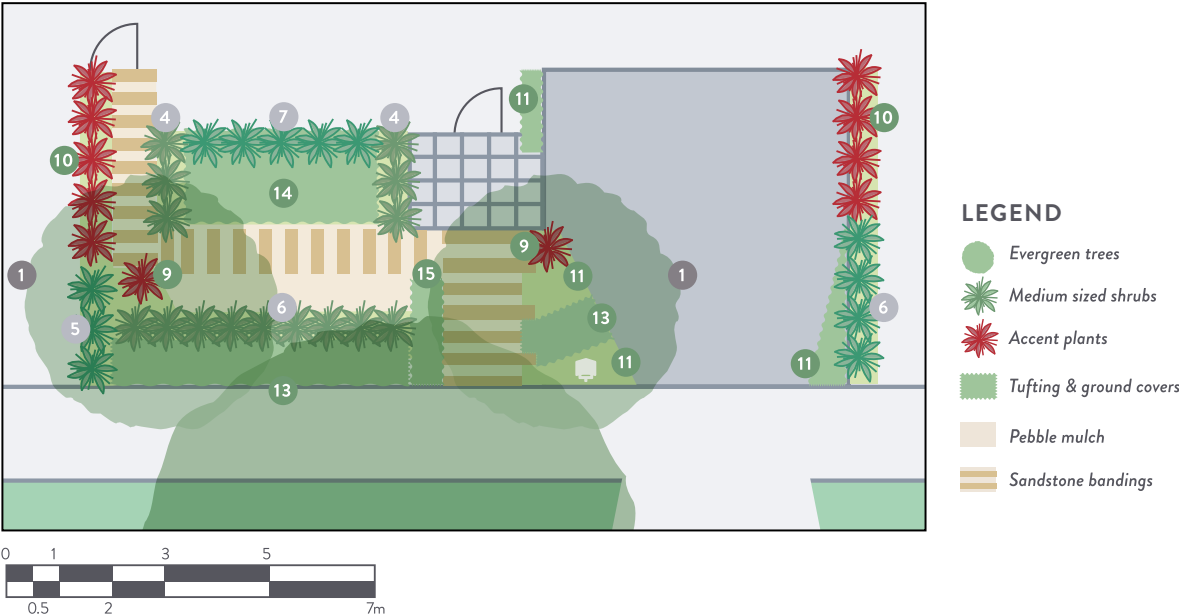
Option Five – Design Intent:

Contemporary garden with a dash of the bush, low maintenance and modern shapes.

The modern garden design draws upon simplicity and low maintenance, with a sense of sophistication.

The interface with the street consists of accent plants providing contrast and colour.

CONTEMPORARY GARDEN:



INDICATIVE PLANT IMAGES:



AGO fle



EUC man



ACA cog



LEU lau

INDICATIVE PLANTS:

Code	Botanical Name	Common Name	Ave. Height x Width (m)
<i>Evergreen Trees</i>			
1. AGO fle	Agonis flexuosa ‘Burgundy’	Willow Myrtle	5 x 3
2. EUC man	Eucalyptus mannifera ‘Little Spotty’	Red Spotted Gum	8 x 6
<i>Deciduous Trees</i>			
3. ACE bue	Acer buergerianum	Trident Maple	6 x 6
<i>Shrubs</i>			
4. ACA cog	Acacia cognata ‘Limelight Wattle’	Limelight Wattle	1 x 1
5. DOD vis	Dodonaea viscosa ‘Purpurea’	Purple Sticky Hop Bush	3 x 2
6. LEU lau	Leucadendron laeolium x salignum	Inca Gold	1 x 1
7. EUP cha	Euphorbia characias ‘Wulfenii’	Milkweed Spurge	1 x 1
8. WES gem	Westringia ‘Wynabbie Gem’	Wynabbie Gem Westringia	1.5 x 1.5
<i>Tufting & Ground Covers</i>			
9. AGA att	Agave attenuata	Agave	0.7 x 0.5
10. COR red	Cordyline ‘Red Fountain’	Red Fountain Cordyline	1 x 1
11. DIA cae	Dianella caerulea ‘Little Jess’	Blue Flax Lily	0.3–0.5 x 0.3
12. LEU bro	Leucophyta brownii	Cushion Bush	1 x 1
13. LOM lon	Lomandra longifolia ‘Tanika’	Spiny-headed Mat-rush	0.7–1 x 1
14. MYO par	Myoporum parvifolium	Creeping Boobialla	prostrate x 2
15. PHO pur	Phormium ‘Bronze Baby’	Dwarf New Zealand Flax	0.7 x 0.7

* Trees to be installed at minimum 45Lt and include 30mm caliper.

INDICATIVE PLANT IMAGES:



AGA att



COR red



LEU bro



MYO par



PHO pur

4.3 DRIVEWAYS

1. Only one crossover is permitted per frontage.
2. The driveway must form an impervious surface. Allowable finishes for driveways include:
 - *Exposed aggregate concrete*
 - *Coloured-through concrete; and pavers*
3. Natural (plain) coloured concrete and colour-on concrete driveways are not permitted.
4. The driveway must be offset from the side boundary by at least 400mm to allow for a planting strip between the boundary and the driveway.
5. The driveway must not be wider than the width of the crossover at the boundary and should be no wider than the garage door where it meets the dwelling.

**EXPOSED
AGGREGATE**



**COLOURED-
THROUGH**



PAVERS



**STENCILLED
CONCRETE**



4.4 LETTERBOXES

1. Letterboxes supported on a single post are not permitted.
2. Letterboxes should match or complement the appearance of the dwelling.



4.5 RETAINING WALLS

1. Where required, retaining walls must not exceed 1.0 metre in height above natural ground level.
2. Retaining walls are to be constructed of either:
 - A proprietary masonry block system
 - Timber sleeper / steel post construction
3. In the case of timber sleeper / steel post retaining walls:
 - Timber sleepers must be:
 - At least 50x200mm
 - No more than 2.4m long
 - Steel posts must be:
 - Either 100UC (Universal Channel) or 100PFC (Parallel Flange Channel) for wall ends
 - Steel posts must be galvanised
 - Retaining walls must be capped with 50x200mm sleepers to conceal post tops
4. Provision should be made for adequate drainage behind retaining walls, and connection to on-site stormwater drains.
5. Provision should also be made for garden bed planting (minimum 300mm width) in front of retaining walls.

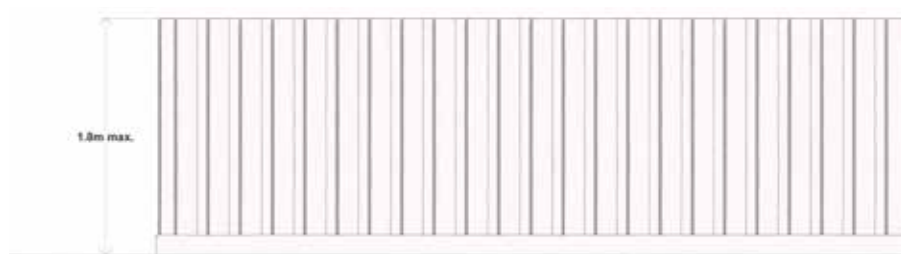
EXAMPLE OF APPROVED RETAINING WALL



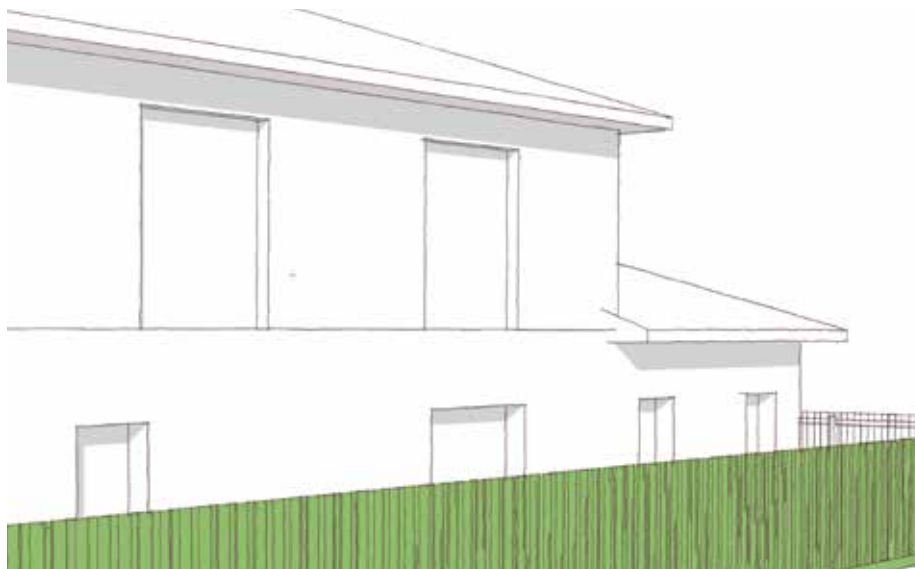
4.6 FENCING

SIDE AND REAR FENCING (Fencing between lots):

1. Side and rear fencing must be:
 - *Constructed of timber posts and rails and lapped timber palings*
 - *A maximum of 1.8 metres in height, above natural ground level*
2. Side fencing must be:
 - *Set back at least 1.0 metre behind the dwelling frontage alignment*
 - *Returned to meet the side of the dwelling (return fence)*



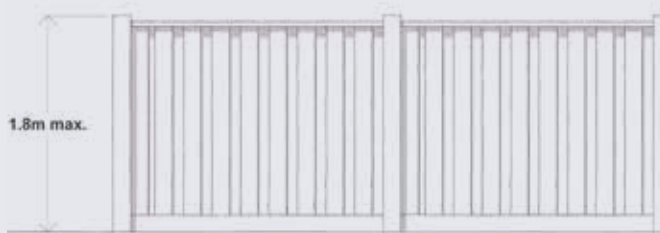
3. A gate is allowable in the return fencing provided that it is constructed of the same material as the side fencing.



CORNER FENCING

(FENCING TO A PUBLIC REALM BOUNDARY OTHER THAN THE FRONTAGE):

4. Developer will provide corner fencing.
5. Corner fencing must be:
 - *Constructed of exposed timber posts and rails, lapped timber palings and timber capping*
 - *A maximum of 1.8 metres in height, above natural ground level*
 - *Set back at least 3.0 metres behind the dwelling frontage alignment*
 - *Returned to meet the side of the dwelling (return fence)*



EXAMPLE OF APPROVED FENCING FOR CORNER LOT:



FRONT FENCING:

6. A gate is allowable in the return fencing provided that it is constructed of the same material as the corner fencing.
7. Owner to match any access fencing / gate to corner fence provided by developer.
8. Where provided, front fencing must be:
 - No more than 1.2 metre in height above natural ground level
 - Complementary to the style and materials of the dwelling

Constructed of one of the following:

- Rendered masonry
 - Face brick
 - Stone-faced masonry
 - Timber pickets/battens on a timber or powder coated steel frame
 - Powder coated/anodised metal fencing comprising horizontal top and bottom rails and vertical pickets/rods and posts
 - Continued at the same height along the side boundary to meet the return fence or garage on the boundary
9. On corner lots, the front fence must continue along the spay and secondary boundary to meet the return fence.
 10. Gates (where provided) must be of a style and material which is complementary to the style and material of the fencing.
 11. Wing fencing is only to be provided for dwellings where front fencing is provided.
 12. Wing fencing must be:
 - Constructed of the same material as the remainder of side fencing
 - Of a height to match the height of front fencing

WING FENCING (FENCING BETWEEN THE RETURN FENCE AND THE FRONT FENCE):



A man and a woman are sitting closely together in a field of tall, vibrant green grass. The man, on the left, has a beard and long hair tied back, wearing sunglasses, a blue button-down shirt, a green jacket, and blue jeans with yellow socks and brown leather boots. The woman, on the right, has long blonde hair and is wearing a dark blue coat, blue jeans, and brown leather boots. They are both looking towards each other, creating a romantic and intimate atmosphere. The lighting is bright, suggesting a sunny day.

5. OUTBUILDINGS

5.1 SHEDS AND OUTBUILDINGS

1. If less than 10m² in area, sheds and outbuildings must not be readily visible from the public realm.
2. If more than 10m² in area, sheds and outbuildings must match or complement the appearance of the dwelling in form and colour.

SCREENING:

3. Ancillary structures and elements must be located so that they are not readily visible from the public realm.

This include items such as:

- *Rubbish bin storage areas*
 - *Washing lines*
 - *Hot water systems*
 - *Any water storage tanks*
 - *Swimming pools*
 - *Spa equipment*
 - *External plumbing other than that for rain water*
 - *Satellite dishes and TV aerials*
4. Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.

5.2 SERVICE EQUIPMENT

Heating and cooling units must be:

- *Located towards the rear of the dwelling*
- *If roof mounted, positioned below the ridge line*
- *If roof mounted, coloured to match the roof as far as practical*
- *Noise attenuated*

5.3 RECYCLED WATER

The provision of recycled water will eventually be available to all residents of Hartleigh. This will provide recycled water for gardens, washing cars and other non-potable purposes. All dwellings must therefore incorporate plumbing to use this recycled water supply.

It is strongly recommended that owners allow for all toilets and 3 taps (located in the front garden, rear garden and in the laundry) to be connected to any future recycled water system.

If you do not make these allowances before you start construction, it is likely that you may face extra costs if you choose to take advantage of this service after your home has been completed.

5.4 BROADBAND

High speed internet services will be available at Hartleigh. In order to take advantage of these services, it is highly encouraged that your home is appropriately prepared.

Again, it is important that you consider the advantages and costs early in the decision making process and discuss it with your builder. Failure to prepare will most likely lead to additional costs if a decision to connect is made after the home is complete.

For details on how to prepare your home, please see your builder or refer to the website www.nbnco.com.au

5.5 SIGNAGE

1. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer.
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses must not exceed 200mm.

5.6 TIMING OF WORKS

1. Building works must commence within 12 months of settlement and must be completed within 12 months of work commencing.
2. Landscaping of the front yard, including the nature strip, must be completed within 3 months of the Certificate of Occupancy being issued.
3. Boundary fencing must be completed prior to the dwelling being occupied.
4. The garage must be constructed at the same time as the dwelling.
5. Driveways must be completed within 30 days of the Certificate of Occupancy being issued.

5.7 MAINTENANCE AND PROTECTION

1. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow growth of grass or weeds upon the lots in excess of 300mm high.
2. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.
3. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
4. It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.







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